

O'CONNELL, FLAHERTY & ATTMORE, L.L.C.

ATTORNEYS AT LAW

280 TRUMBULL STREET

HARTFORD, CONNECTICUT 06103-3598

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PETITION NO. 764

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OTHER OFFICES

1350 MAIN STREET, SPRINGFIELD, MA 01103

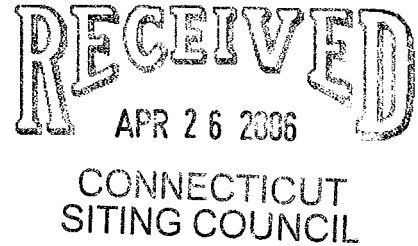
22 MAIN STREET, MOOSUP, CT 06354

50 NEWTOWN ROAD, DANBURY, CT 06810

65 LASALLE ROAD, WEST HARTFORD, CT 06107

April 25, 2006

Pamela B. Katz, Chairman  
Connecticut Siting Council  
Ten Franklin Square  
New Britain, CT 06051



RE: Petition of T-Mobile for a Declaratory Ruling that a ten foot (10') extension to a ninety foot (90') CL&P transmission tower located in a CL&P easement at 437 Hobart Street, Southington, Connecticut, does not require a Certificate of Environmental Compatibility and Public Need as the proposed construction will not have a substantial adverse environmental effect.

**Latitude: 41 36 31 / Longitude: -72 51 46**

Dear Chairman Katz and Members of the Siting Council:

Pursuant to Connecticut General Statutes ("C.G.S.") § 16-50, *et seq.*, Omnipoint Communications, Inc., a/k/a T-Mobile, f/k/a Voicestream Wireless Corp. ("T-Mobile"), through its undersigned counsel, hereby Petitions the Connecticut Siting Council ("Council") for a Declaratory Ruling that a Certificate of Environmental Compatibility and Public Need ("Certificate") is not required for a ten foot (10') extension to an existing ninety foot (90') (AGL) CL&P transmission tower (line # 1800, stanchion # 1814) located at 437 Hobart Street, Southington, Connecticut. Though this proposal does not achieve co-location with existing wireless telecommunications facilities, it does achieve co-location with an existing utility tower, and will increase the overall height of the structure (including antennas) by approximately ten feet (10') (AGL). For the reasons cited herein, T-Mobile submits that a Certificate is not needed because the proposal will not have a substantial adverse environmental impact.

Description of the Project

As shown on the plans prepared by Westcott & Mapes, Inc., attached hereto as Exhibit A, there is currently a CL&P transmission line that runs through the site. The existing structure is a ninety foot (90') transmission tower that carries the power lines. T-Mobile proposes to construct a ten foot (10') extension to the tower, thereby bringing to the total height of the tower to one hundred feet (100') (AGL). The proposed antenna installation will include a total of three (3) flush-mounted panel antennas, one for each sector, to be mounted at ninety-seven feet (97'). Each antenna would measure seventy-two inches by twelve inches (72" x 12"). The overall height of the structure, including these antennas, will be one hundred feet (100') (AGL). To the

north of the tower would be fifteen by fifteen foot (15' x 15') leased area enclosed by a six-foot (6') high fence. The leased area will be accessed via an existing driveway that runs off of Hobart Street. An additional utility easement has also been obtained.

#### Surrounding Land Uses

The site sits to the east of Interstate 84 and Route 10 in Southington. The site is located in the R-20/25 zone, which is a medium-density single-family residential zone. This area is transected by a two hundred-fifty foot (250') wide CL&P easement. Attached hereto as Exhibit B is the pertinent portion of the Southington Assessor's Map that shows the bounds of this easement. There are no wetlands on or near the site. A NEPA and historic resources assessment has been prepared by Lessard Environmental, Inc., and is attached hereto as Exhibit C. This report demonstrates that the proposal will have no adverse environmental impacts. Attached hereto as Exhibit D are photos of the existing tower. One can see that the proposed installation will have virtually no additional visual impact on the site from surrounding parcels, and will increase the overall height of the tower by only ten feet (10').

#### Compliance with Local Zoning

Though the Council has exclusive jurisdiction over the proposed installation, T-Mobile strives to satisfy as many of the local zoning requirements and preferences as possible. Attached hereto as Exhibit E are the pertinent sections of the Southington Zoning Regulations. Section 11-18 deals with wireless telecommunication facilities. T-Mobile believes that the proposal complies with the local regulations. In particular, § 11-18.2 concerns co-located facilities. That section provides that co-located facilities are permitted in all zoning districts, including the R-20/25 zone, subject only to a site plan approval. Subsection (B) expressly permits panel antennas on existing towers, provided that the height of the structure is not expanded by more than ten feet (10'). Again, T-Mobile's proposal complies with this requirement. As for the size of the panel antennas, there is some inconsistency in the local regulations. Subsection (A) of § 11-18.2 permits panel antennas up to six feet (6') in height, whereas subsection (B) permits antennas measuring sixty inches by twenty-four inches (60" x 24"). In this case, the proposed antennas will measure seventy-two inches by twelve inches (72" x 12"). Using subsection (A), the antennas are permitted. Under subsection (B), the antennas would be one foot too high, though total surface area of the antennas is less than what would otherwise be permitted. In any event, the flush-mounted nature of the antennas will make them as unobtrusive as possible. *E.g.*, § 11-18.2(B)(4).

#### Proposed Service Area and Need for the Facility

T-Mobile's antennas will be used to fill an existing gap in coverage along State Route 10 just northeast of the center of Southington. Closing this gap will primarily benefit those traveling through this corridor and those in the town center. The new antennas will also provide service at three of the town's public schools and at Memorial Park. Attached hereto as Exhibit F are two sheets that show, respectively, the existing coverage and the resulting coverage after the proposed facility is completed. These coverage plots demonstrate that T-Mobile has a need for the facility and that the proposed antennas will satisfy the need for coverage in this area.

O'CONNELL, FLAHERTY & ATTMORE, L.L.C.

Pamela B. Katz, Chairman

March 13, 2006

Page 3

The Project will Not Have a Substantial Adverse Environmental Effect

Operation of T-Mobile's proposed antennas at this site will not exceed the total radio frequency electromagnetic radiation power density level adopted by the FCC and the Connecticut Department of Public Health. The "worst case" exposure calculated for the operation of the facility is 6.5775% of the M.P.E. standard. See, Exhibit G. In addition, the proposed antennas will not interfere with existing public safety communications, AM or FM radio broadcasts, TV, Police Communications, HAM Radio communications or any other signals in the area.

Conclusion

We respectfully submit that the proposed project presents an opportunity to fill a significant gap in coverage along State Route 10 near the Southington town center with minimal additional visual impact, and will avoid the unnecessary proliferation of a new stand-alone tower in the area. Moreover, if approved, T-Mobile will not need to construct any other additional towers to provide coverage to the target area if the Council determines that no Certificate is required. Connecticut Light & Power's approval letter is attached hereto as Exhibit H. Therefore, we request that this petition be granted.

Yours Truly,

**O'CONNELL, FLAHERTY  
& ATTMORE, LLC**



Gregory W. Piecuch, Esq.

GWP/klp  
Exhibits

Cc: John Weichsel, Town Manager  
Southington Town Hall  
75 Main Street  
Southington, CT 06489



437 HOBART STREET  
SOUTHINGTON, CT 06489

SITE TYPE: UTILITY TOWER

1. THE CONTRACTOR SHALL OBTAIN ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE ADMINISTRATIVE CODES BEARING ON THE PERFORMANCE OF THE WORK. THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
2. THE ARCHITECT/ENGINEER HAS MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE CONTRACTOR BIDDING THE JOB IS NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
3. THE CONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE PROJECT OWNER'S REPRESENTATIVE OF ANY TECHNICAL ERRORS, OR QUESTIONS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL OR PERFORMANCE OF WORK. IN THE EVENT OF DISCREPANCIES THAT CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED IN WRITING OTHERWISE.
4. THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR AND ALL OTHER MATERIALS AND LABOR DEEMED NECESSARY TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.
5. THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE SUBMISSION OF BIDS OR PERFORMING WORK TO FAMILIARIZE HIMSELF WITH THE FIELD CONDITIONS AND TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. THE CONTRACTOR SHALL OBTAIN AUTHORIZATION FROM THE PROJECT OWNER'S REPRESENTATIVE TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK. THE CONTRACTOR SHALL NOT CLEARLY MARK BY THE CONSTRUCTION DRAINAGES / CONTRACT DOCUMENTS.
7. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO THE MANUFACTURER'S / VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
8. THE CONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS AT THE SITE UPDATED WITH THE LATEST REVISIONS AND ADDENDUMS OR CLARIFICATIONS AVAILABLE FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
9. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY CONSTRUCTION CONTROL SURVEYS, ESTABLISHING AND MAINTAINING ALL LINES AND GRADES REQUIRED TO CONSTRUCT ALL IMPROVEMENTS AS SHOWN HEREON.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY OR LOCAL GOVERNMENT AUTHORITY.
12. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PREVENT ENSURING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
13. THE CONTRACTOR SHALL KEEP THE GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SECURED AS REMAINING ON THE PROPERTY. PROGRESS SHALL BE KEPT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SHADES OF ANY NATURE.
14. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT.
15. THE CONTRACTOR SHALL NOTIFY THE PROJECT OWNER'S REPRESENTATIVE WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE WORK THAT IS IN CONFLICT UNTIL CONFLICT IS RESOLVED BY THE LESSEE/LANDOWNER REPRESENTATIVE.
16. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC. ON THE JOB.
17. ALL UNDERGROUND UTILITY INFORMATION WAS DETERMINED FROM SURFACE INVESTIGATIONS AND EXISTING PLANS OF RECORD. THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES IN THE FIELD PRIOR TO ANY SITE WORK. CALL THE FOLLOWING FOR ALL PRE-CONSTRUCTION NOTIFICATION 72-HOURS PRIOR TO ANY EXCAVATION ACTIVITY:  
DIG SAFE SYSTEM (A.A. ME. NH. RI): 1-888-344-7233  
CALL BEFORE YOU DIG (CT): 1-800-972-4425

A circular compass rose divided into four quadrants by a vertical and a horizontal line. The top vertical line is thicker than the others, indicating the direction of True North.

TRUE NORTH



CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE PROJECT OWNER'S REPRESENTATIVE IN WRITING OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

[illegible]

SITE NUMBER: CTT1-734-A  
SITE NAME: CL&P LNE 1800 STNCH. 1814  
SITE ADDRESS: 437 HOBART STREET  
SOUTHINGTON, CT 06489  
ASSESSOR'S PARCEL NO.: MAP #123, LOT #084  
SITE TYPE: UTILITY TOWER  
STRUCTURE OWNER: CONNECTICUT LIGHT & POWER COMPANY  
P.O. BOX 270  
HARTFORD, CT 06141  
PROPERTY OWNER: FREDERICK W. AND BONNIE G. LASKY  
437 HOBART STREET  
SOUTHINGTON, CT 06489  
APPLICANT, LESSEE/LICENSEE, PROJECT OWNER: OMNIPORT COMMUNICATIONS, INC.  
100 FOLEY STREET  
BLOOMFIELD, CT 06002

**Westcott and Mapes, Inc.**  
Consulting Engineers and Architects since 1916

142 Temple Street  
New Haven, CT 06510  
TEL (203) 789-1260 • FAX (203) 789-8261



LANDLORD \_\_\_\_\_  
LEASING \_\_\_\_\_  
R.F. \_\_\_\_\_  
ZONING \_\_\_\_\_  
CONSTRUCTION \_\_\_\_\_  
A/E \_\_\_\_\_

CHECKED BY: CMM

5	12/01/05	CONSTRUCTION REVISED
4	4/19/04	CONSTRUCTION REVISED
3	4/12/04	CONSTRUCTION REVISED
2	4/05/04	CONSTRUCTION REVISED
1	3/26/04	CONSTRUCTION FINAL
0	3/16/04	CONSTRUCTION

THIS DOCUMENT IS THE CREATION, DESIGN, PROPERTY AND COPYRIGHTED WORK OF OMNIPONT COMMUNICATIONS, INC. ANY DUPLICATION OR USE WITHOUT EXPRESS WRITTEN CONSENT IS STRICTLY PROHIBITED. DUPLICATION AND USE BY GOVERNMENT AGENCIES FOR THE PURPOSES OF CONDUCTING THEIR LAWFULLY AUTHORIZED REGULATORY AND ADMINISTRATIVE FUNCTIONS IS SPECIFICALLY ALLOWED.

437 HOBART STREET  
SOUTHINGTON, CT 06489

TITLE SHEET

T-1



# GENERAL NOTES

1. FIELD SURVEY DATE: MARCH 9, 2004
2. VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1929 (NAD29)
3. HORIZONTAL DATUM: NORTH AMERICAN DATUM OF 1983 (NAD83)
4. CENTER OF PROPOSED: MONOPOLE  
LATITUDE: N 41° 36' 30.6"  
LONGITUDE: W 72° 51' 47.2"  
GROUND ELEV: 230' (AMSL)
5. OWNER: FREDERICK W. & BONNIE G. LASKY  
437 HOBART STREET  
SOUTHINGTON, CT 06489
6. SITE NAME: CL&P LINE 1800 STNCH 1814
7. SITE NUMBER: CT11-734-4
8. SITE ADDRESS: HOBART STREET  
SOUTHINGTON, CT 06489
9. APPLICANT: DMRPOINT COMMUNICATIONS, INC.  
100 FILLEY STREET  
BLOOMFIELD, CT 06002
10. JURISDICTION: TOWN OF SOUTHINGTON, CT.
11. TAX ID: ASSESSOR'S PLAT/MAP: 123, LOT: 84
12. HORIZONTAL COORDINATE POSITIONS FROM GPS LOCATIONS. ELEVATIONS ARE THE RESULT OF TRIGONOMETRIC LEVELING. SOURCE: USGS MAP, (SPOT ELEVATION, ROAD) "MERIDEN, CONN., REV. 1984."
13. ANY UNDERGROUND UTILITY INFORMATION PRESENTED HEREON WAS DETERMINED FROM SURFACE EVIDENCE AND PLANS OF RECORD. ALL UNDERGROUND UTILITIES SHOULD BE LOCATED IN THE FIELD PRIOR TO COMMENCEMENT OF ALL SITE WORK. CALL DIGSAFE 1-800-322-4844 A MINIMUM OF 72 HOURS PRIOR TO PLANNED ACTIVITY.
14. THE AREA DEPICTED HEREON LIES ENTIRELY WITHIN FLOOD ZONE "X" AS DEPICTED ON F.L.R.M. MAP "TOWN OF SOUTHINGTON, CONNECTICUT, PANEL 7 OF 17, 0900370007E, APRIL 15, 2002". FLOOD ZONE "X" IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".
15. PLANIMETRIC FEATURES DEPICTED HEREON ARE BASED UPON TOPOGRAPHIC GROUND SURVEY (3/9/04).
16. PROPERTY LINE INFORMATION IS COMPILED FROM RECORD MAPPING AND IS NOT THE RESULT OF A FULL BOUNDARY RETRACEMENT SURVEY. RECORD MAP: "SUBDIVISION PLAN, REUSSNER ROAD OLD FARM ACRES, SOUTHINGTON, CONNECTICUT, FOR MODERNAGE DEVELOPERS, INC., JANUARY 20, 1985 ARTHUR F. HOFFMAN, COLLINSVILLE, CONNECTICUT."
17. BEARING SYSTEM DEPICTED HEREON IS BASED UPON A MAGNETIC OBSERVATION TAKEN ON THE DATE OF THE SURVEY (3/9/2004).
18. ZONE DISTRICT: "R-20/25" (RESIDENTIAL)

## CERTIFICATION

THE SURVEY DEPICTED HEREON IS A DATA ACCUMULATION SURVEY AND IS INTENDED TO DEPICT EXISTING CONDITIONS IN THE VICINITY OF A PROPOSED CELLULAR COMMUNICATIONS TOWER AS OF THE DATE OF THE SURVEY 3/9/04.

PROPERTY LINES DEPICTED HEREON ARE THE RESULT OF LIMITED RESEARCH, FIELD LOCATIONS AND OTHER SOURCES OF INFORMATION AND AS SUCH DO NOT REPRESENT A PROPERTY/BOUNDARY OPINION.

HORIZONTAL LOCATIONS WERE PERFORMED TO CLASS A-2 STANDARDS OF ACCURACY AND VERTICAL INFORMATION (I.E. ELEVATIONS) ARE THE RESULT OF CLASS T-2 STANDARDS OF ACCURACY.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS SURVEY AND MAP ARE SUBSTANTIALLY CORRECT AS NOTED HEREON.

JAMES E. NAGLE, L.S. CT. REG. NO. 15195

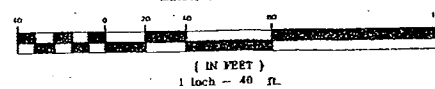
- LEGEND**
- PROPERTY LINE
  - ADJOINER LINE
  - EXISTING CONTOUR (IN FEET)
  - UTILITY POLE
  - TAX ASSESSOR L.D. #
  - OVER HEAD WIRES



## SITE PLAN

SCALE: 1"=40'-0"

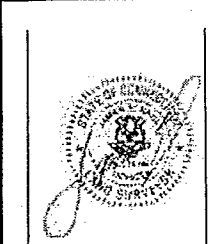
GRAPHIC SCALE



DMRPOINT COMMUNICATIONS, INC.  
A WHOLLY-OWNED SUBSIDIARY  
OF T-MOBILE USA, INC.  
100 FILLEY STREET  
BLOOMFIELD, CT 06002  
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FAX: (860)-692-7159

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## APPROVALS

LANDLORD

LEASING

R.F.

ZONING

CONSTRUCTION

A/E

PROJECT NO: 02125.74

DRAWN BY: W.J.N.

CHECKED BY: JEN

## SUBMITTALS

5	12/01/05	CONSTRUCTION REVISED
4	4/19/04	CONSTRUCTION REVISED
3	4/12/04	CONSTRUCTION REVISED
2	4/05/04	CONSTRUCTION REVISED
1	3/26/04	CONSTRUCTION FINAL
0	3/16/04	CONSTRUCTION

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CT11-734-A  
CL&P LINE 1800  
STNCH. 1814

437 HOBART STREET  
SOUTHINGTON, CT 06489

SHEET FILE

SITE SURVEY

SHEET NUMBER

C-1

10'-0"

4" COMPACTED  
PROCESSED AGGREGATE  
SLOPE 1/4" / FT

SLOPE 1/4" / FT

UNDISTURBED GROUND

8" CRUSHED GRAVEL  
(COMPACTED IN 4 LAYERS)

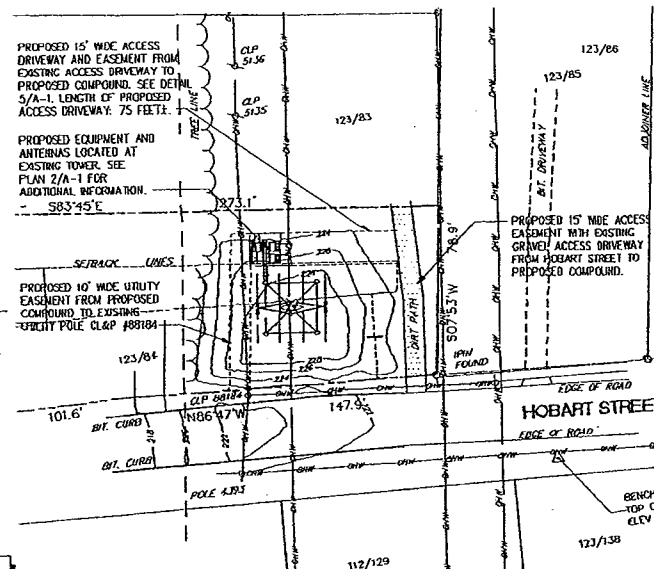
COMPACTED SUBGRADE

5

A-1

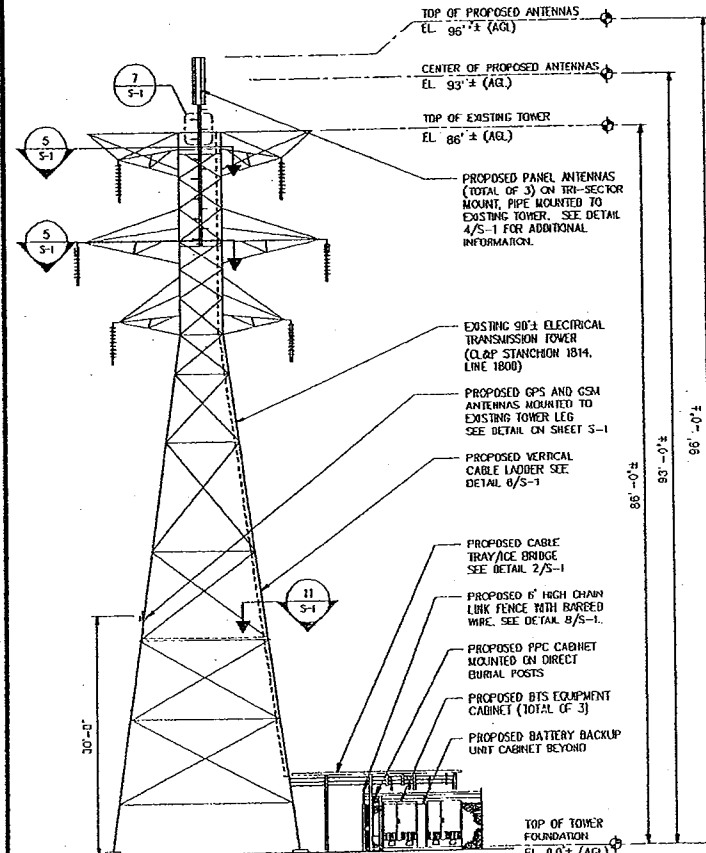
SCALE: N.T.S.

**NOTE:**  
PROJECT OWNER IS RESPONSIBLE FOR PROVIDING A GLOBAL STRUCTURAL STABILITY ANALYSIS TO DETERMINE CAPACITY AND SUITABILITY OF EXISTING ANTENNA SUPPORT STRUCTURE TO SAFELY CARRY ALL ADDITIONAL LOADS IMPOSED BY PROPOSED EQUIPMENT. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INCORPORATING ALL REQUIRED STRUCTURAL MODIFICATIONS INTO THEIR SCOPE OF WORK.



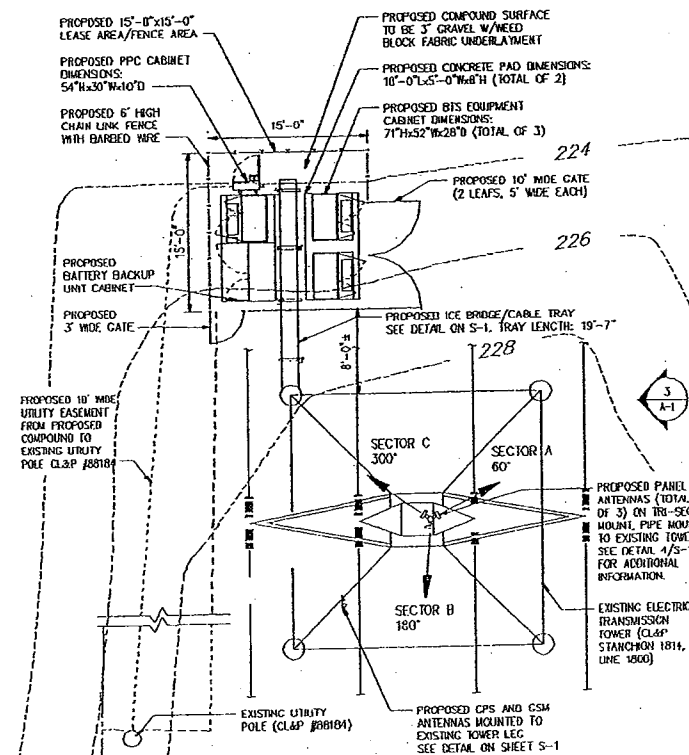
### PARTIAL SITE PLAN

SCALE: 1" = 40'-0"



### ELEVATION

SCALE: 3/32"=1'-0"

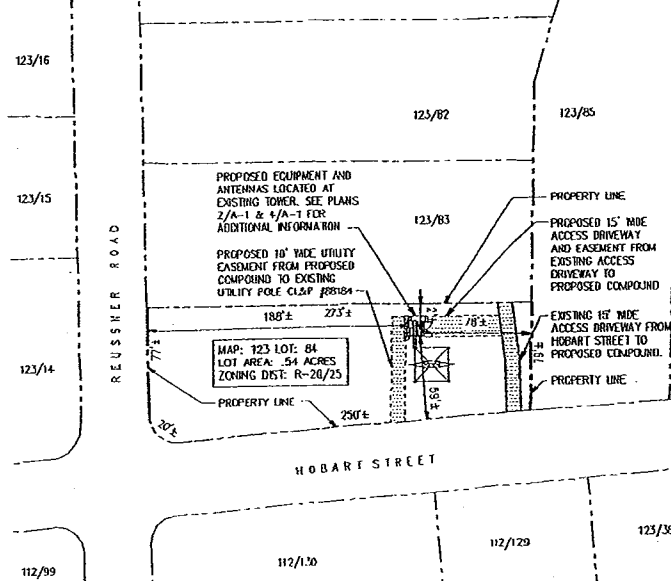
ENLARGED PARTIAL PLAN/  
EQUIPMENT PLAN

SCALE: 1/8"=1'-0"

1. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY CONSTRUCTION CONTROL, SURVEYS AND MAINTAINING ALL LINES AND GRADES REQUIRED TO CONSTRUCT ALL IMPROVEMENTS SHOWN HEREIN.
2. ALL DIMENSIONS SHOWN THUS ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS WHICH EFFECT THE CONTRACTORS WORK. CONTRACTOR TO VERIFY ALL DIMENSIONS WITH PROJECT OWNER PRIOR TO CONSTRUCTION.
3. NORTH ARROW SHOWN ON PLANS REFERS TO APPROXIMATE TRUE NORTH. CONTRACTOR SHALL RETAIN THE SERVICES OF A PROFESSIONAL SURVEYOR TO VERIFY TRUE NORTH AND PROVIDE AS-BUILT ANTENNA AZIMUTH, ANTENNA MECHANICAL DOWN-TILT AND ANTENNA RADIATION CENTER HEIGHT (A.C.) CERTIFICATIONS FOR ANTENNA AZIMUTHS MUST BE WITHIN 3 DEGREES OF THE SPECIFIED SECTOR ORIENTATION ON THE RF BUILD SHEET.
4. THE CONTRACTOR AND/OR HIS SUB CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY OR LOCAL GOVERNMENT AUTHORITY.
5. ANTENNA INSTALLATION SHALL BE CONDUCTED BY FIELD CREWS EXPERIENCED IN THE ASSEMBLY AND ERECTION OF RADIO ANTENNAS, TRANSMISSION LINES AND SUPPORT STRUCTURES.
6. COAXIAL CABLE CONNECTORS AND TRANSMITTER EQUIPMENT SHALL BE PROVIDED BY THE PROJECT OWNER AND IS NOT INCLUDED IN THESE CONSTRUCTION DOCUMENTS. A SCHEDULE OF PROJECT OWNER SUPPLIED MATERIALS IS ATTACHED TO THE BID DOCUMENTS (SEE EXHIBIT 3). ALL OTHER HARDWARE TO BE PROVIDED BY THE CONTRACTOR. CONNECTION HARDWARE SHALL BE STAINLESS STEEL.
7. WHEN "PAINT TO MATCH" IS SPECIFIED FOR ANTENNA CONCEALMENT, PAINT PRODUCT FOR ANTENNA RADOME SHALL BE SHERWIN WILLIAMS CORPOREALINE II. SURFACE PREPARATION AND APPLICATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND PROJECT OWNER'S GUIDELINES.
8. COORDINATION, LAYOUT, AND FURNISHING OF CONDUIT, CABLE AND ALL APPURTENANCES REQUIRED FOR PROPER INSTALLATION OF ELECTRICAL AND TELECOMMUNICATION SERVICE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. ALL UTILITY WORK SHALL BE IN ACCORDANCE WITH LOCAL UTILITY COMPANY REQUIREMENTS AND SPECIFICATIONS.
10. ALL (E)ACHIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHEN ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY ENGINEERS. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PIER DRILLING AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW.
11. ALL (E)ACHIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF UTILITY COMPANY ENGINEERING.
12. THE AREAS OF THE PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE EQUIPMENT, DRIVEWAY OR GRAVEL, SHALL BE GRADED TO A UNIFORM SLOPE, FERTILIZED, SEEDED AND COVERED WITH MULCH UNLESS OTHERWISE NOTED.
13. THE CONTRACTOR SHALL ESTABLISH AND MAINTAIN SOIL EROSION AND SEDIMENTATION CONTROLS AT ALL TIMES DURING CONSTRUCTION.
14. PER FCC MANDATE, ENHANCED EMERGENCY (E911) SERVICE IS REQUIRED TO MEET NATIONWIDE STANDARDS FOR WIRELESS COMMUNICATIONS SYSTEMS. PROJECT OWNER'S IMPLEMENTATION REQUIRES DEPLOYMENT OF EQUIPMENT AND ANTENNAS GENERALLY DEPICTED ON THIS PLAN, ATTACHED TO OR MOUNTED IN CLOSE PROXIMITY TO THE SITE RADIO CABINETS. CONTRACTOR RESERVES THE RIGHT TO MAKE NECESSARY MODIFICATIONS TO E911 EQUIPMENT AND LOCATION AS TECHNOLOGY EVOLVES TO MEET REQUIRED SPECIFICATIONS.

**NOTE:**

"THE TOTAL IMPACT AREA OF THE DISTURBED CONSTRUCTION SITE IS BOUNDED BY THE "LIMIT OF WORK" AS SHOWN HEREON. THE MAXIMUM AREA OF DISBURBANCE WITHIN THE LIMIT OF WORK IS APPROXIMATELY 1530 SQUARE FEET. THE PROJECT IMPACT AREA IS BELOW THE EXEMPTION THRESHOLD OF 43,560 SQUARE FEET FOR FEDERAL AND STATE REGULATORY AGENCIES. THE LESSEE/LODENSEE SHALL CONDUCT ALL SITE DEVELOPMENT WORK IN A MANNER THAT DOES NOT EXCEED THE LIMITS OF WORK SHOWN ON THE PLANS. ADDITIONALLY, THE LESSEE/LODENSEE AND GENERAL CONTRACTOR SHALL CONDUCT ALL CONSTRUCTION ACTIVITIES IN A MANNER THAT DOES NOT RESULT IN SUBSTANTIAL DISTURBANCE TO THE SURFACE OF THE LAND, INCLUDING BUT NOT LIMITED TO, DISTURBANCE TO THE AIR, SOIL, VEGETATION, WATER BODY, OR OTHER WATER RESOURCE AREAS."



NOTES:

PLOT PLAN BASED ON TAX MAPS FROM THE TOWN OF SOUTHRINGTON, CT AND A SITE PLAN  
 BY ARTHUR F. HOFFMAN, L.S. DATED 2/6/92

SECTRACKS ARE TAKEN FROM PROPOSED EQU

## WELCOME BOARD

### PLOT PLAN

SCALE: 1"=50'-0"

CONFIDENTIAL

0      30      60      120      180

\_\_\_\_\_

ADJ	ADJUSTABLE	OC	ON CENTER
AGL	ABOVE GRADE LEVEL	OPP	OPPOSITE
APPROX	APPROXIMATE	SF	SQUARE FOOT
C	CONDUIT	SHR	SHEET
CONC	CONCRETE	SM	SIMILAR
CONT	CONTINUOUS	STL	STEEL
CJ	CONSTRUCTION JOINT	TOC	TOP OF CONCRETE
DIA	DIAMETER	TOU	TOP OF MASONRY
DWG	DRAWING	TYP	TYPICAL
EGG	EQUIPMENT GROUND BAR	VF	VERIFY IN FIELD
EA	EACH	UC	UNDERGROUND
ELEC	ELECTRICAL	UN	UNLESS OTHERWISE NOTED
EL	ELEVATION	WVF	WELDED WIRE FABRIC
EQ	EQUAL	W/	WITH
EQUIP	EQUIPMENT		
(E)	EXISTING	BTS	BASE TRANSMISSION STATION
EXT	EXTERIOR	LNA	LOW NOISE AMPLIFIER
FCM	FIELD CONSTRUCTION MANAGER		
FF	FINISHED FLOOR	PCS	PERSONAL COMMUNICATIONS SERVICES
FG	FINISHED GRADE		
GA	GAUGE		
GALV	GALVANIZED	A-1	ANTENNA MARK NO.
GC	GENERAL CONTRACTOR		
LG	LONG	PL	PLATE
MAX	MAXIMUM	&	AND
MECH	MECHANICAL		
MFR	MANUFACTURER	⊗	AT
MGB	MASTER GROUND BAR		
MIN	MINIMUM		
MTL	METAL		
NOT	NOT IN CONTRACT		
NTS	NOT TO SCALE		

	NEW ANTENNA		GROUT OR PLASTER
	EXISTING ANTENNAS		(E)BRICK
	ASPHALT		(E)MASONRY
	NEW ACCESS EASEMENT		CONCRETE
	CONCRETE		EARTH
	ELECTRIC BOX		GRAVEL
	LIGHT POLE		FLYMOCO
	FIRE MONUMENT		SAND
	SPOT ELEVATION		WOOD CONT.
	SET POINT		WOOD BLOCKING
	REVISION		STEEL
	GRID REFERENCE		CENTER LINE
	DETAIL REFERENCE		PROPERTY LINE
	ELEVATION		STEPPED FOOTING
			WATCH LINE
			WORK POINT
			GROUND WIRE
			COAXIAL CABLE

A diagram of a circle divided into three sectors by three radii extending from the center to the circumference. The radii are positioned at the 12 o'clock, 6 o'clock, and 9 o'clock positions. The sectors are labeled as follows: Sector A is the top-right sector with a central angle of 60°; Sector B is the bottom sector with a central angle of 180°; and Sector C is the top-left sector with a central angle of 300°.

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LEASING \_\_\_\_\_  
R.F. \_\_\_\_\_  
ZONING \_\_\_\_\_  
CONSTRUCTION \_\_\_\_\_  
A/E \_\_\_\_\_

PROJECT NO: 02125.74

DRAWN BY: NJE/JST

CHECKED BY: CNM

## SUBMITTALS

5	12/01/05	CONSTRUCTION REVISED
4	4/19/01	CONSTRUCTION REVISED
3	4/12/04	CONSTRUCTION REVISED
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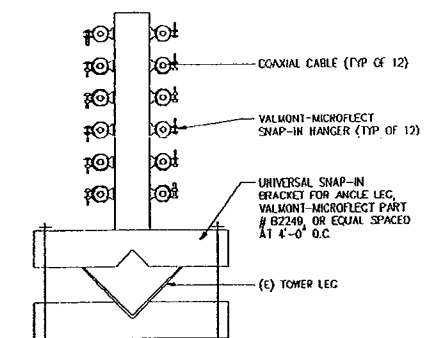
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PLANS, ELEVATION,  
DETAILS AND NOTES

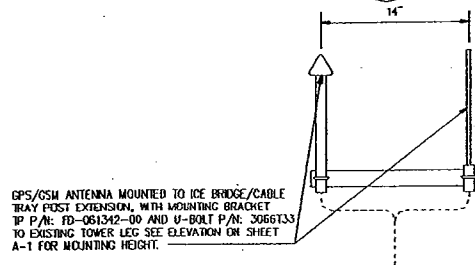
SHOOT NUMBER

A-1



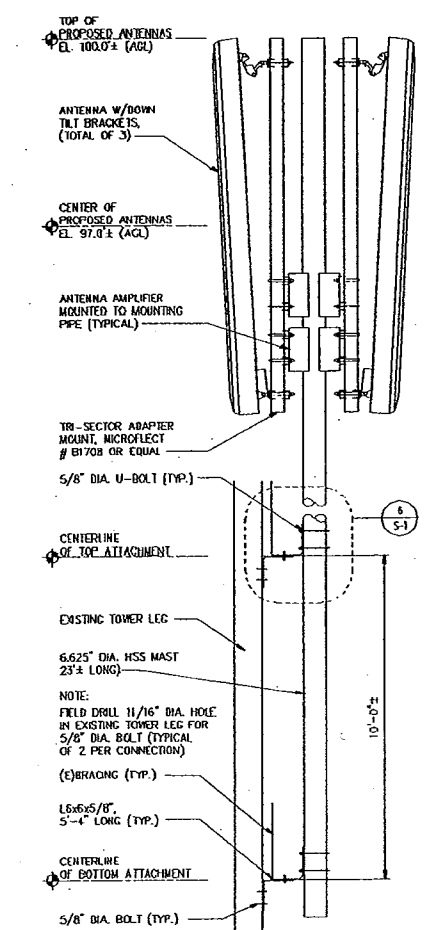
**COAXIAL CABLE SUPPORT**

SCALE: 1 1/2"=1'-0"



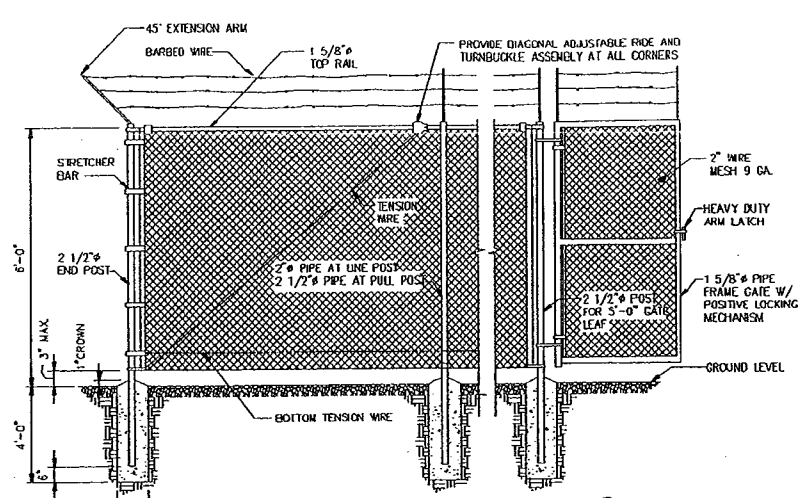
**ANTENNA MOUNTING DETAIL**

SCALE: 1 1/2"=1'-0"



**ANTENNA MOUNTING DETAIL**

SCALE: 3/4"=1'-0"

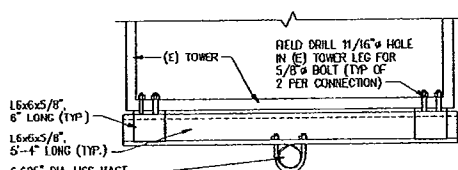


**TYPICAL FENCE DETAIL**

SCALE: 3/8"=1'-0"

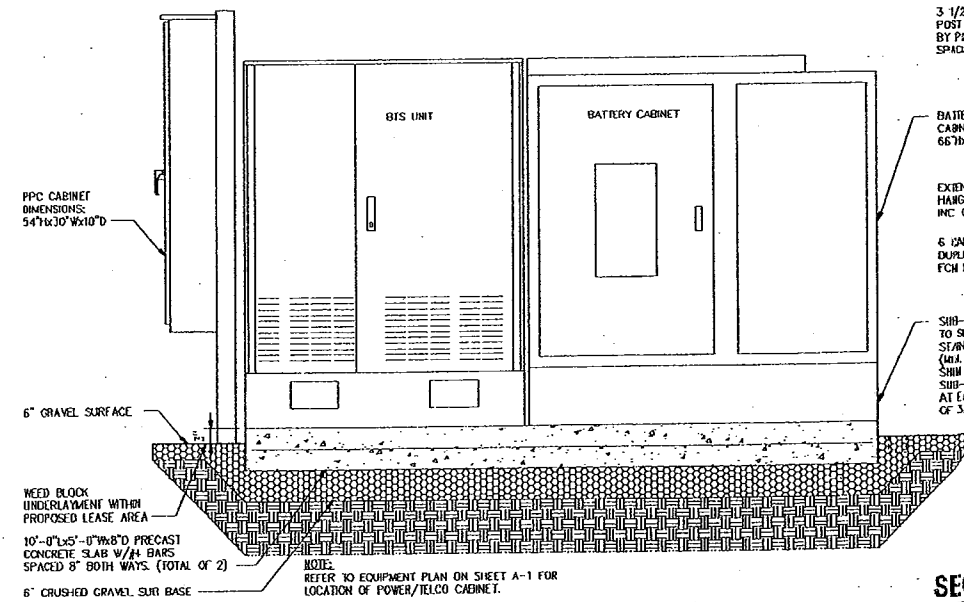
FENCE NOTES:

1. INSTALL FENCING PER ASTM F-567, SWING GATE PER ASTM F-1003.
2. ALL END POSTS, LINE POSTS, PULL POSTS, POSTS FOR GATE LEAF, PIPES FOR GATE FRAME AND TOP RAILS SHALL BE SCHEDULE 40 PIPE PER ASTM F-1003.
3. FABRIC SHALL BE 12 GA. CORE WIRE SIZE 2" MESH CONFORMING TO ASTM A-392.
4. TENSION WIRE SHALL BE 7 GA. GALV. STEEL.
5. TIE WIRE SHALL BE 11 GA. GALV. STEEL (MIN.) AT POSTS AND RAILS. A SINGLE WRAP FABRIC TIE AT TENSION WIRE BY HOC RINGS SPACED MAX. OF 24" INTERVALS.
6. BARBED WIRE SHALL BE DOUBLE STRAND 12 1/2" O.D. TWISTED WIRE TO MATCH W/FABRIC 14 GA. 4 PL. BARBS SPACES AT APPROXIMATELY 5" O.C.
7. COMPLY WITH LOCAL ORDINANCES OF BARBED WIRE PERMIT REQUIREMENTS, IF REQUIRED.
8. STEEL FENCE SYSTEM SHALL INCLUDE THE FENCE POSTS, FABRIC, GATE SYSTEM AND ALL NECESSARY ERECTION ACCESSORIES, FITTINGS AND FASTENINGS. ALL FENCE SYSTEM COMPONENTS SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A153. GATES SHALL BE SWING GATES WITH 5'-0" LEAF. REFER TO TYPICAL FENCE DETAIL FOR ADDITIONAL INFORMATION. INSTALL FENCE AFTER CONCRETE HAS ATTAINED 75% OF 28 DAY DESIGN STRENGTH.



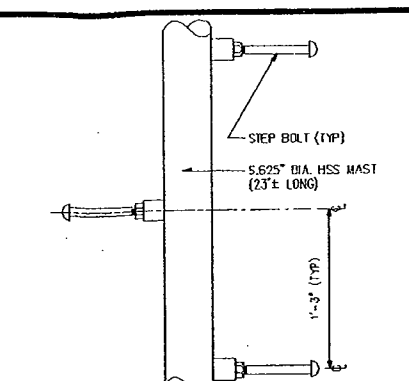
**PLAN DETAIL**

SCALE: 3/4"=1'-0"



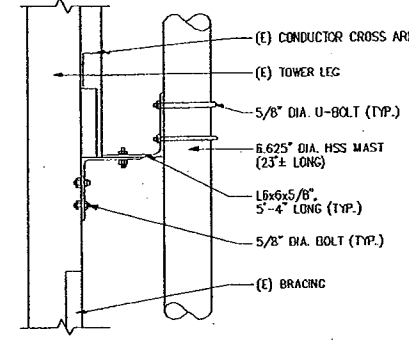
**SECTION AT EQUIPMENT PAD**

SCALE: 3/4"=1'-0"



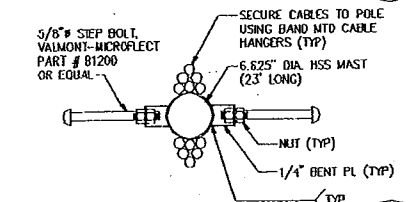
**STEP BOLD DETAIL**

SCALE: 1 1/2"=1'-0"



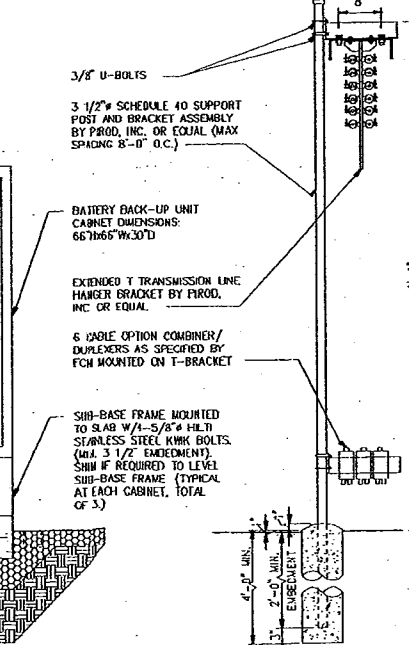
**MAST DETAIL**

SCALE: 1 1/2"=1'-0"



**MAST PLAN**

SCALE: 1 1/2"=1'-0"

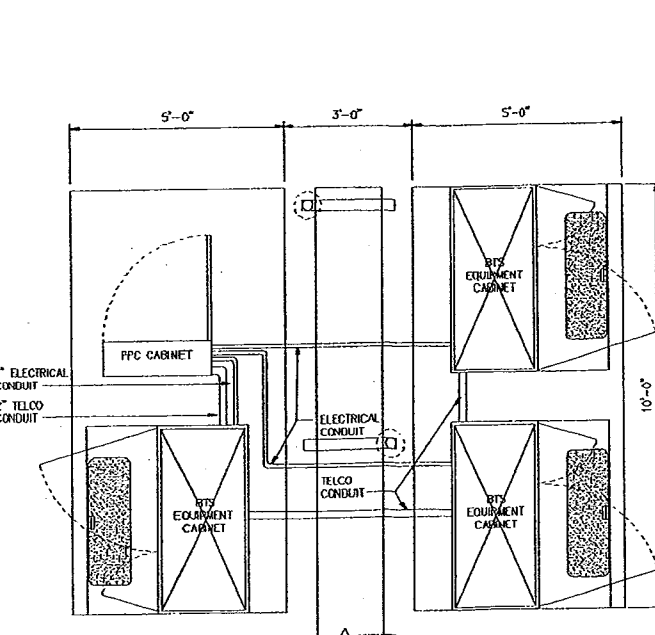


**SECTION AT ICE BRIDGE/CABLE TRAY**

SCALE: 3/4"=1'-0"

**STRUCTURAL NOTES**

1. DESIGN REQUIREMENTS ARE PER STATE BUILDING CODE AND APPLICABLE SUPPLEMENTS, ANSI/ASCE 7, EIA/DA-222-F STRUCTURAL STANDARDS FOR STEEL ANTENNA SUPPORTING STRUCTURES.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE CONSTRUCTION MANAGER.
3. DESIGN AND CONSTRUCTION OF STRUCTURAL STEEL SHALL CONFORM TO THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS".
4. STRUCTURAL AND MISCELLANEOUS STEEL SHALL CONFORM TO ASTM A36 STRUCTURAL STEEL UNLESS OTHERWISE INDICATED.
5. STEEL PIPE SHALL CONFORM TO ASTM A500 "COLD-FORMED WELDED & SEAMLESS CARBON STEEL STRUCTURAL TUBING", GRADE A, OR ASTM A53 PIPE STEEL BLACK AND HOT-DIPPED ZINC-COATED WELDED AND SEAMLESS TYPE E OR S, GRADE B. PIPE SIZES INDICATED ARE NOMINAL. ACTUAL OUTSIDE DIAMETER IS LARGER.
6. STRUCTURAL CONNECTION BOLTS SHALL BE HIGH STRENGTH BOLTS (BEARING TYPE) AND CONFORM TO ASTM A315 "HIGH STRENGTH BOLTS FOR STRUCTURAL JOINTS, INCLUDING SUITABLE NUTS AND PLAIN HARDENED WASHERS". ALL BOLTS SHALL BE 5/8" DIA. UN.
7. ALL STEEL MATERIALS SHALL BE GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A123 "ZINC (HOT-DIP GALVANIZED) COATINGS ON IRON AND STEEL PRODUCTS", UNLESS OTHERWISE NOTED.
8. ALL BOLTS, ANCHORS AND MISCELLANEOUS HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A153 "ZINC-COATING (HOT-DIP) ON IRON AND STEEL HARDWARE", UNLESS OTHERWISE NOTED.
9. FIELD WELDS, DRILL HOLES, SAW CUTS AND ALL DAMAGED GALVANIZED SURFACES SHALL BE REPAIRED WITH AN ORGANIC ZINC REPAIR PAINT COMPLYING WITH REQUIREMENTS OF ASTM A780. GALVANIZING REPAIR PAINT SHALL HAVE 65 PERCENT ZINC BY WEIGHT, DIPPED BY DUNCAN GALVANIZING. GALVA BROUGHT PREMIUM BY CROWN OR EQUAL. THICKNESS OF APPLIED GALVANIZING REPAIR PAINT SHALL BE NOT LESS THAN 4 COATS (ALLOW TIME TO DRY BETWEEN COATS) WITH A RESULTING COATING THICKNESS REQUIRED BY ASTM A123 OR A153 AS APPLICABLE.
10. CONTRACTOR SHALL COMPLY WITH AWS CODE FOR PROCEDURES, APPEARANCE AND QUALITY OF WELDS, AND FOR METHODS USED IN CORRECTING WELDING. ALL WELDERS AND WELDING PROCESSES SHALL BE QUALIFIED IN ACCORDANCE WITH AWS "STANDARD QUALIFICATION PROCEDURES". ALL WELDING SHALL BE DONE USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AWS AND D11. WHERE FLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AWS "MANUAL OF STEEL CONSTRUCTION" 9TH EDITION.
11. INCORRECTLY FABRICATED, DAMAGED OR OTHERWISE MISFITTING OR NONCONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE CONSTRUCTION MANAGER PRIOR TO REMEDIAL OR CORRECTIVE ACTION. ANY SUCH ACTION SHALL REQUIRE CONSTRUCTION MANAGER APPROVAL.
12. UNISTRUTS SHALL BE FORMED STEEL CHANNEL STRUT FRAMING AS MANUFACTURED BY UNISTRUT CORP. WAYNE, MI OR EQUAL. STRUT MEMBERS SHALL BE 1 5/8"x1 5/8"x12GA. UNLESS OTHERWISE NOTED, AND SHALL BE HOT-DIP GALVANIZED AFTER FABRICATION.
13. EPOXY ANCHOR ASSEMBLY SHALL CONSIST OF 1/2" DIAMETER STAINLESS STEEL ANCHOR ROD WITH NUTS & WASHERS, AN INTERNALLY THREADED INSERT, A SCREEN TUBE AND A EPOXY ADHESIVE. THE ANCHORING SYSTEM SHALL BE THE HLT-HIT HY-20 AND OR HY-150 SYSTEMS (AS SPECIFIED AN DWG) OR ENGINEERS APPROVED EQUAL WITH 4-1/4" MIN. EMBEDMENT DEPTH.
14. EXPANSION BOLTS SHALL CONFORM TO FEDERAL SPECIFICATION FF-S-325, GROUP II, TYPE 4, CLASS I, HLT KIRK BOLT II OR APPROVED EQUAL. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MINIMUM EMBEDMENT SHALL BE THREE AND ONE HALF (3 1/2) INCHES.
15. GRAVEL SUB BASE AND CONCRETE SHALL BE PLACED AGAINST UNDISTURBED SOIL.
16. CONCRETE FOR FENCE AND ICE BRIDGE SUPPORT SHALL BE 3000 PSI AIR ENTRAINED (4 % ± 1%) NORMAL WEIGHT CONCRETE.
17. ALL CAST IN PLACE CONCRETE SHALL BE MIXED AND PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF ACI 318 AND ACI 301.
18. THE FOLLOWING MINIMUM CONCRETE COVER OVER REINFORCING STEEL SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:  
CONCRETE CAST AGAINST EARTH ... 3 INCHES.  
CONCRETE EXPOSED TO EARTH OR WATER  
#6 AND LARGER ... 2 INCHES  
#5 AND SMALLER ... 1 1/2 INCHES
19. ALL EXPOSED EDGES SHALL BE PROVIDED WITH A 3/4"x3/4" CHAMFER UNLESS NOTED OTHERWISE.
20. LUMBER SHALL COMPLY WITH THE REQUIREMENTS OF THE AMERICAN INSTITUTE OF WOOD CONSTRUCTION AND THE NATIONAL FOREST PRODUCTS ASSOCIATION'S NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION. ALL LUMBER SHALL BE PRESSURE TREATED AND SHALL BE STRUCTURAL GRADE NO 2 OR BETTER.

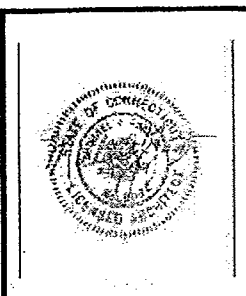


**PLAN AT EQUIPMENT PAD**

SCALE: 1 1/2"=1'-0"

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LEASING \_\_\_\_\_

R.F. \_\_\_\_\_

ZONING \_\_\_\_\_

CONSTRUCTION \_\_\_\_\_

A/E \_\_\_\_\_

PROJECT NO: 02125.74

DRAWN BY: MJE/JWT

CHECKED BY: CMH

SUBMITTALS		
5	12/01/05	CONSTRUCTION REVISED
4	4/19/04	CONSTRUCTION REVISED
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STRUCTURAL NOTES, PLAN  
SECTIONS AND DETAILS

SHEET NUMBER  
**S-1**

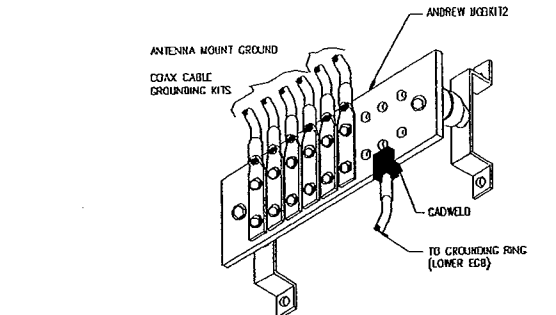




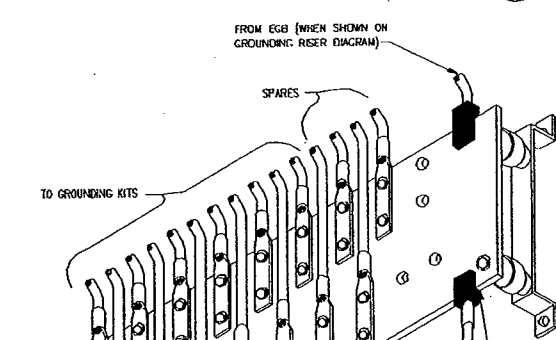
**SWINGING GATE GROUNDING DETAIL**  
SCALE: N.T.S.



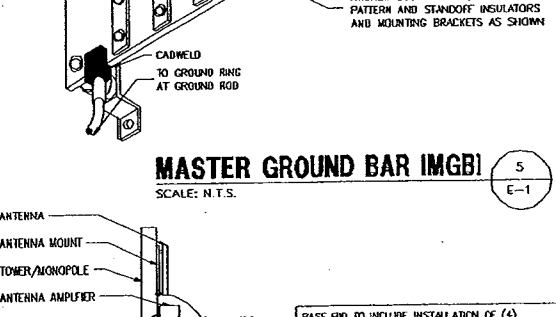
**TYPICAL GROUND BAR CONNECTIONS DETAIL**  
SCALE: N.T.S.



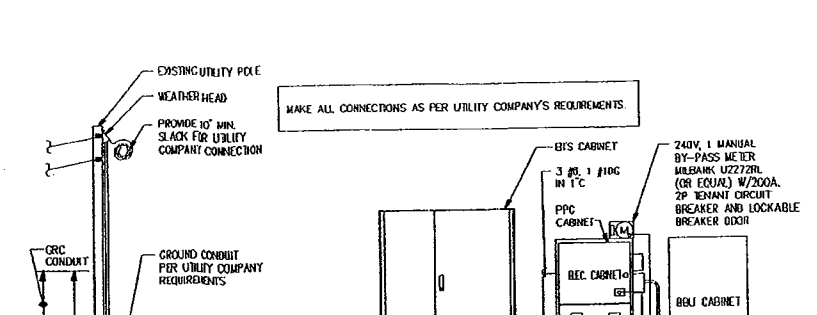
**EQUIPMENT GROUND BAR (EGB)**  
SCALE: N.T.S.



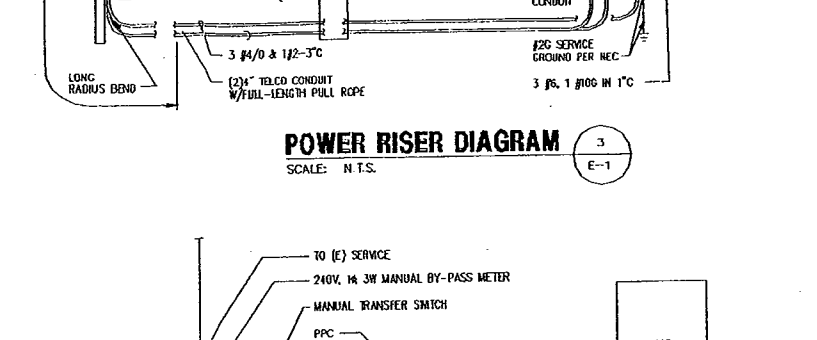
**MASTER GROUND BAR (MGB)**  
SCALE: N.T.S.



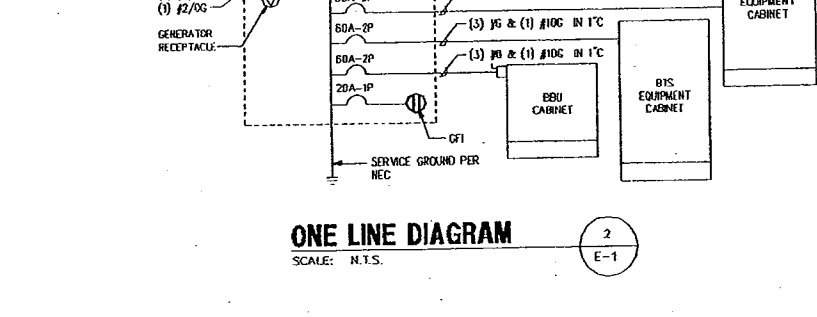
**GROUNDING RISER DIAGRAM**  
SCALE: N.T.S.



**POWER RISER DIAGRAM**  
SCALE: N.T.S.



**ONE LINE DIAGRAM**  
SCALE: N.T.S.



**BURIED CONDUIT DETAIL**  
SCALE: N.T.S.

ELECTRICAL LEGEND	
	NEW PANEL BOARD, SURFACE MOUNTED
	EXISTING PANEL BOARD, SURFACE MOUNTED
	DRY TYPE TRANSFORMER
	METER
	CIRCUIT BREAKER
	NON-FUSIBLE DISCONNECT SWITCH
	FUSIBLE DISCONNECT SWITCH
	TRANSIENT VOLTAGE SURGE SUPPRESSOR
	DUPLEX OUTLET
	JUNCTION BOX
	EXPOSED WIRING
	HOME RUNS
	ABOVE FINISHED FLOOR
	WEATHERPROOF
	GROUND FAULT INTERRUPTER
	AMPERE
	VOLT
	KILOWATT - HOUR
	CONDUIT
	GALVANIZED RIGID CONDUIT
	GROUND
	MASTER GROUND BAR
	EQUIPMENT GROUND BAR
	GROUND COPPER WIRE
	EXPOSED WIRING
	COAXIAL CABLE
	5/8" COPPER CLAD STEEL GROUND ROD
	EXOTHERMIC (CADWELD) OR MECHANICAL (COMPRESSION TYPE) CONNECTION
	POWER PROTECTION CABINET

### ELECTRICAL AND GROUNDING NOTES

- ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE (NEC) AS WELL AS APPLICABLE STATE AND LOCAL CODES.
- ALL ELECTRICAL ITEMS SHALL BE NEW UNLESS OTHERWISE NOTED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEC.
- THE ELECTRICAL WORK INCLUDES ALL LABOR AND MATERIAL DESIGNED BY DRAWINGS AND SPECIFICATIONS INCLUDING INCIDENTAL WORK TO PROVIDE COMPLETE OPERATING AND APPROVED ELECTRICAL SYSTEM.
- GENERAL CONTRACTOR SHALL PAY FEES FOR PERMITS, AND IS RESPONSIBLE FOR OBTAINING SAID PERMITS AND COORDINATION OF INSPECTIONS.
- ELECTRICAL AND TELCO WIRING OUTSIDE A BUILDING AND EXPOSED TO WEATHER SHALL BE IN WATER TIGHT GALVANIZED RIGID STEEL CONDUITS OR SCHEDULE 40 PVC (AS PERMITTED BY CODE) AND WHERE REQUIRED IN UPRIGHT (VERTICAL) METAL OR NONMETALLIC CONDUITS.
- BURIED CONDUIT SHALL BE SCHEDULE 40 PVC.
- ELECTRICAL WIRING SHALL BE COPPER WITH TYPE XHHW, THHN, OR THW INSULATION.
- RUN ELECTRICAL CONDUIT OR CABLE BETWEEN ELECTRICAL UTILITY DEMARCATION POINT AND PROJECT OWNER CELL SITE PPC AS INDICATED ON THIS DRAWING. PROVIDE FULL LENGTH PULL ROPE. COORDINATE INSTALLATION WITH UTILITY COMPANY.
- RUN TELCO CONDUIT OR CABLE BETWEEN TELEPHONE UTILITY DEMARCATION POINT AND PROJECT OWNER CELL SITE TELCO CABINET AND BTS CABINET AS INDICATED ON THIS DRAWING. PROVIDE FULL LENGTH PULL ROPE IN INSTALLED TELCO CONDUIT. PROVIDE GREEN/BLACK CONDUIT MEASURING TAPE AT EACH END.
- WHERE CONDUIT BETWEEN BTS AND PROJECT OWNER CELL SITE PPC AND BETWEEN BTS AND PROJECT OWNER CELL SITE TELCO SERVICE CABINET ARE UNDERGROUND USE PVC, SCHEDULE 40 CONDUIT. ABOVE THE GROUND PORTION OF THESE CONDUITS SHALL BE PVC CONDUIT.
- ALL EQUIPMENT LOCATED OUTSIDE SHALL HAVE NEMA 3R ENCLOSURE.
- PPC SUPPLIED BY PROJECT OWNER.
- GROUNDING SHALL COMPLY WITH NEC ART. 250.
- GROUND COAXIAL CABLE SHIELDS MINIMUM AT BOTH ENDS USING MANUFACTURER'S COAX CABLE GROUNDING KITS SUPPLIED BY PROJECT OWNER.
- USE #6 COPPER STRANDED WIRE WITH GREEN COLOR INSULATION FOR ABOVE GRADE GROUNDING (UNLESS OTHERWISE SPECIFIED) AND #2 SOLID THINNED BARE COPPER WIRE FOR BELOW GRADE GROUNDING AS INDICATED ON THE DRAWING.
- ALL GROUND CONNECTIONS TO BE BURIED HYBRID COMPRESSION TYPE CONNECTORS OR CADWELD EXOTHERMIC WELD. DO NOT ALLOW BARE COPPER WIRE TO BE IN CONTACT WITH GALVANIZED STEEL.
- ROUTE GROUNDING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE. EXCEPT AS OTHERWISE INDICATED, GROUNDING LEADS SHOULD NEVER BE BENT AT RIGHT ANGLE. ALWAYS MAKE AT LEAST 17" RADIUS BENDS. #6 WIRE CAN BE BENT AT 6" RADIUS WHEN NECESSARY. BEND ANY METAL OBJECTS WITHIN 6 FEET OF PROJECT OWNER EQUIPMENT OR CABINET TO MASTER GROUND BAR OR GROUNDING RING.
- CONNECTIONS TO GROUND BARS SHALL BE MADE WITH TWO HOLE COMPRESSION TYPE COPPER LUGS. APPLY OXIDE INHIBITING COMPOUND TO ALL LOCATIONS.
- APPLY OXIDE INHIBITING COMPOUND TO ALL COMPRESSION TYPE GROUND CONNECTIONS.
- BOND ANTENNA MOUNTING BRACKETS, COAXIAL CABLE GROUND KITS, AND ANNA TO EGB PLACED NEAR THE ANTENNA LOCATION.
- BOND ANTENNA EGB'S AND MGB TO GROUND RING.
- CONTRACTOR SHALL TEST COMPLETED GROUND SYSTEM AND RECORD RESULTS FOR PROJECT CLOSE-OUT DOCUMENTATION. 5 OHMS MAXIMUM RESISTANCE REQUIRED.
- CONTRACTOR SHALL CONDUCT ANTENNA, COAX, AND LNA RETURN-LOSS AND DISTANCE-TO-FAULT MEASUREMENTS (SWEEP TESTS) AND RECORD RESULTS FOR PROJECT CLOSE-OUT.

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APPROVALS

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R.F. \_\_\_\_\_

ZONING \_\_\_\_\_

CONSTRUCTION \_\_\_\_\_

A/E \_\_\_\_\_

PROJECT NO: 02125.74

DRAWN BY: MJE

CHECKED BY: CMW

SUBMITTALS

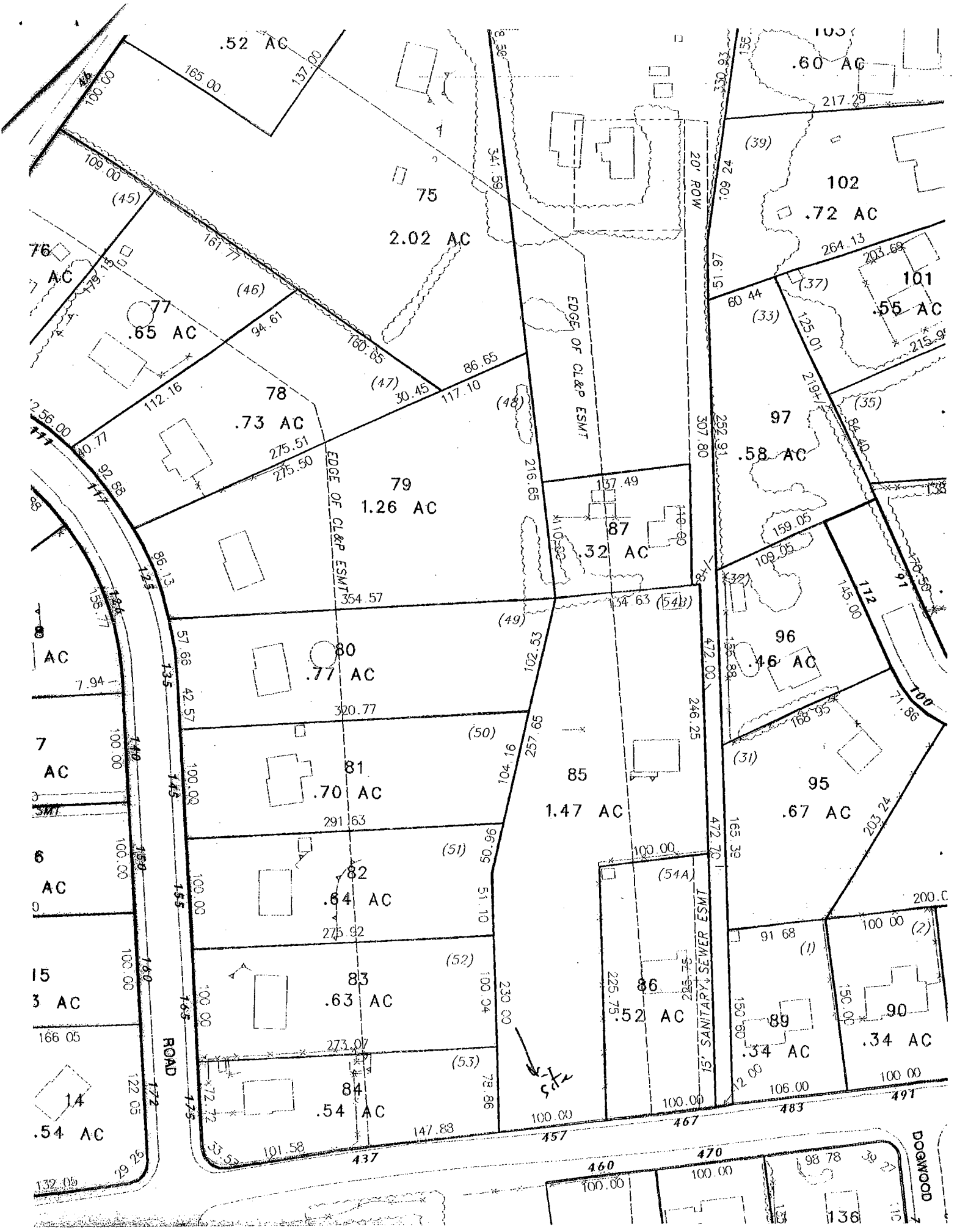
NO.	DATE	REVISION
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ELECTRICAL AND GROUNDING NOTES, RISERS, AND DETAILS

SHEET NUMBER  
**E-1**





## Lessard Environmental, Inc.

[www.Lessard-Environmental.com](http://www.Lessard-Environmental.com)

Branch Office  
1920 Mineral Spring Avenue, Suite 9/10  
North Providence, RI 02904

Tel. 401-353-7066  
Fax 401-353-7067

April 15, 2004

Ms. Charmaine Simpson  
T-Mobile USA, Inc.  
100 Filley Street  
Bloomfield, CT 06002

Re: NEPA Evaluation  
CT-11-734-A

Dear Ms. Simpson:

Lessard Environmental, Inc. (LEI) has completed an abbreviated assessment as outlined in the Federal Communications Commission (FCC) Regulations 47 CFR § 1.1306 (a), for a Connecticut Light and Power (CL&P) transmission tower collocation site, designated as Site Number CT-11-734-A. The transmission tower is identified as pole 1814 line 1800, located on Hobart Street, in Southington, Connecticut. The wireless communications installation consists of the collocation of three panel antennas façade mounted to a proposed ten-foot pole extension at the top of the transmission tower stanchion. Associated equipment will be enclosed within a 15-foot by 15-foot fenced lease area located at the base of the transmission tower.

Pursuant to 47 CFR § 1.1306 (a) and the Nationwide Programmatic Agreement (PA) for the Collocation of Wireless Antennas by and between the FCC, the Advisory Council on Historic Preservation (ACHP), and the National Conference of State Historic Preservation Officers (NCSHPO), enacted on March 16, 2001, an abbreviated assessment for historical issues is required for all proposed antenna installations on roof tops, existing towers, smokestacks, church steeples and other collocation sites. T-Mobile provided information regarding the age of the existing transmission tower stanchion after meeting with CL&P representatives. According to CL&P records, the transmission tower stanchion was constructed in 1962. A cultural resources map, prepared by Keegans Associated was reviewed for the project area. Based on information contained on this map, the Site is not listed or eligible for listing on the National Register of Historic Places, further no National Register Historic Districts were identified within 250-feet of the proposed Site. Based on the results of this assessment, the proposed collocation meets the criteria of the Nationwide Programmatic Agreement for the Collocation of Wireless Antennas. No further review relative to NEPA is warranted.





## Lessard Environmental, Inc.

[www.Lessard-Environmental.com](http://www.Lessard-Environmental.com)

Branch Office  
1920 Mineral Spring Avenue, Suite 9/10  
North Providence, RI 02904

Tel. 401-353-7066  
Fax 401-353-7067

Please find the attached NEPA Checklist and associated documentation for the above-referenced site. This assessment has been conducted on behalf of T-Mobile to satisfy the requirements set forth in 36 CFR Part 800, 47 CFR § 1.1306 (a) and the Nationwide Programmatic Agreement (PA) for the Collocation of Wireless Antennas. If you have any questions regarding the results of this assessment, please contact the undersigned at (401) 353-7066.

Sincerely,  
Lessard Environmental, Inc.

Christine A. Keating  
NEPA Compliance Specialist

Attachments

## NEPA Checklist



## Lessard Environmental, Inc.

www.Lessard-Environmental.com

Branch Office  
1920 Mineral Spring Avenue, Suite 9/10  
North Providence, RI 02904

Tel. 401-353-7066  
Fax 401-353-7067

### NEPA Abbreviated Assessment

Report Date: April 15, 2004

Site Number: CT-11-734-A

Site Name: CL&P Line 1800 Stanchion 1814

Site Address: Hobart Street, Southington, Connecticut

Site Type: Utility Pole Collocation

- (1) Is the proposed facility located within an officially designated wilderness area? ☐ Yes ☐ No ☒ N/A
- (2) Is the proposed facility located within an officially designated wildlife preserve? ☐ Yes ☐ No ☒ N/A
- (3) Will the proposed facility affect listed, threatened or endangered species or critical habitats? ☐ Yes ☐ No ☒ N/A
- Will the proposed facility jeopardize the continued existence of any proposed endangered or threatened species? ☐ Yes ☐ No ☒ N/A
- Will the proposed facility result in the destruction or adverse modification of proposed critical habitats, as determined by the Secretary of the Interior pursuant to the Endangered Species Act of 1973? ☐ Yes ☐ No ☒ N/A
- (4) Will the proposed facility affect districts, sites, buildings, structures or objects, significant in American history, architecture, archaeology, engineering, or culture that are listed or are eligible for listing, in the National Register of Historic Places? ☐ Yes ☒ No ☐ N/A
- (5) Will the proposed facility affect Indian religious sites? ☐ Yes ☐ No ☒ N/A
- (6) Is the proposed facility located in a flood plain? ☐ Yes ☐ No ☒ N/A
- (7) Will the proposed facility result in significant change in surface features, such as wetland fill, deforestation, or water diversion? ☐ Yes ☐ No ☒ N/A
- (8) Will the proposed facility require the use of high intensity white lights in a residential neighborhood as defined by applicable zoning laws? ☐ Yes ☐ No ☒ N/A



**NEPA Programmatic Agreement Compliance Form**



## Lessard Environmental, Inc.

www.Lessard-Environmental.com

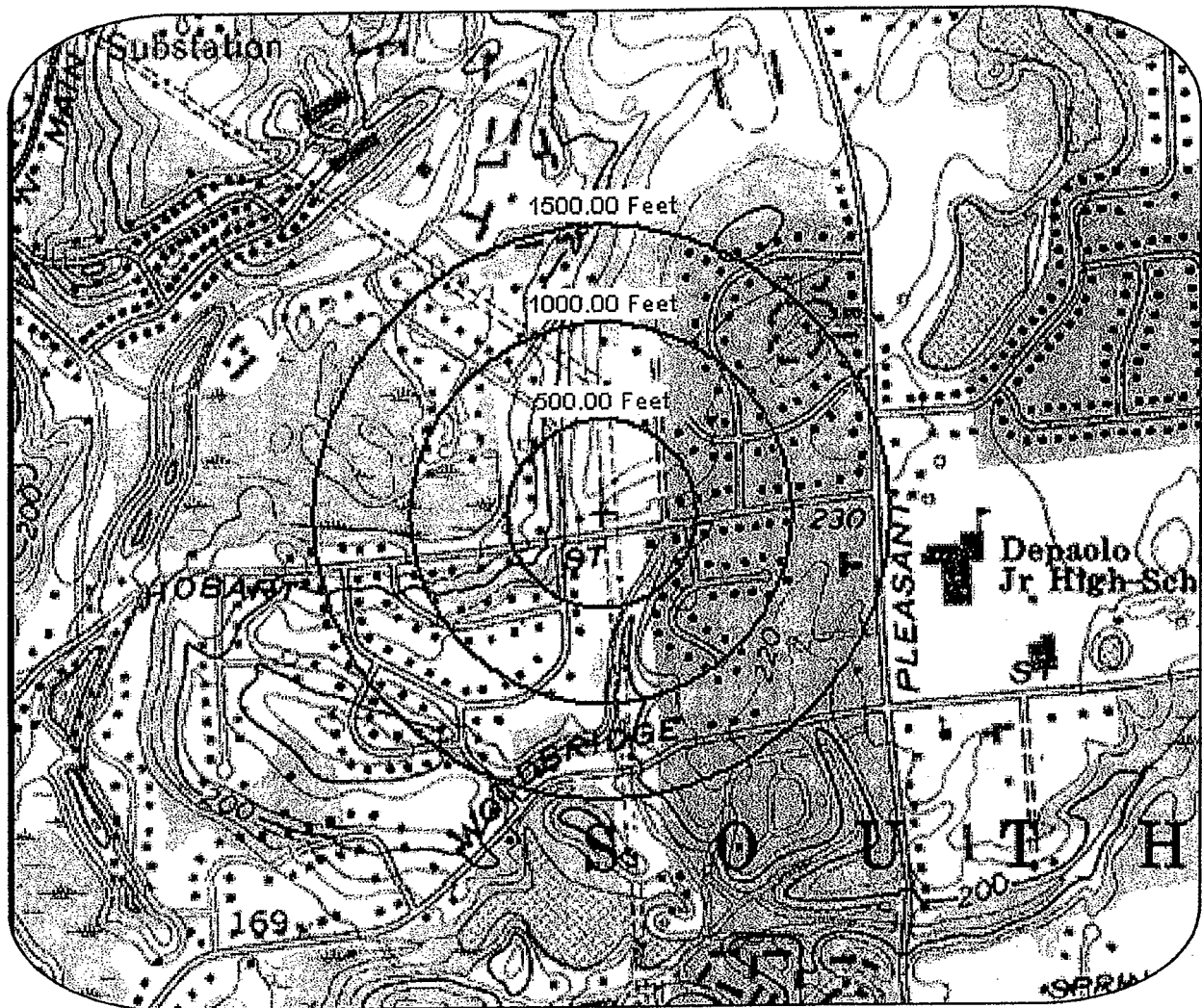
BRANCH OFFICE  
1920 MINERAL SPRING AVENUE, SUITE 9 AND 10  
NORTH PROVIDENCE, RHODE ISLAND 02904

Tel: 401-353-7066  
Fax: 401-353-7067

NEPA Programmatic Agreement Compliance Form	
Site Number: CT-11-734-A Site Address: Hobart Street Southington, CT	Site Name: CL&P Line 1800 Stanchion 1814 Site Type: Utility Pole Collocation
<b>Structure/Collocation Information</b>  Structure Owner: CL&P Structure Built: 1962 Structure Height: 90-feet T-Mobile Antenna Height: 100-feet Substantial Height Increase: Not Applicable Equipment Shelter Location: On the ground near the base of utility tower Compound Expansion: Not Applicable	
<b>National Register of Historic Places Review Results:</b>  Is Site listed on National Register: No Is Site potentially eligible for listing on National Register: No Is Site within National Register District: No Is Site within 250 feet of National Register District: No If within 250 feet of NR District is the installation visible from within the district: N/A	
FCC documented "Adverse Effect" on Historic Properties: No FCC environmental review or related proceeding related to Section 106 review: No Record of written or electronic notification that FCC has received a complaint from a member of public, a SHPO or the Historic Advisory Council supported by evidence that the collocation has an "Adverse Effect" on one or more historic properties: No	
<b>Conclusions</b>  Based on the results of this assessment, the proposed installation meets the criteria of the Nationwide Programmatic Agreement for the Collocation of Wireless Antennas. No further review relative to NEPA is warranted.	
Report Date: April 15, 2004	Prepared By: Christine A. Keating

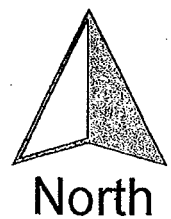
### Site Location Map





**Figure 1: Site Locus**

Site Number CT-11-734-A  
 CL&P Line 1800 Stanchion 1814  
 Hobart Street  
 Southington, CT  
 Contour Interval 10 Feet  
 Scale 1:24,000



**Lessard Environmental, Inc.**

*Professional Environmental Services and Consultation*  
 46R Prince Street  
 Danvers, MA 01923  
 Tel 978-777-2300 Fax 978-777-4355

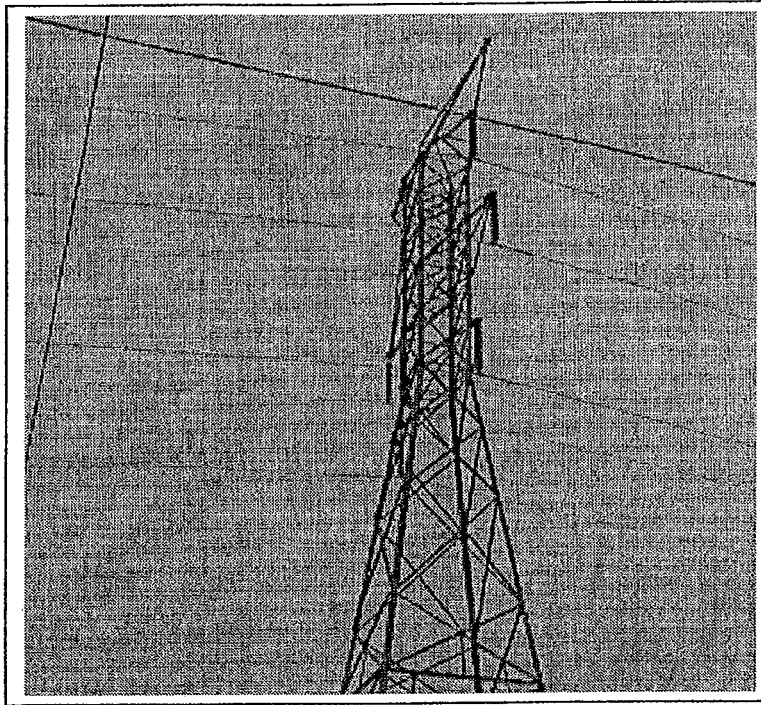
Source: USGS Meriden, CT Quadrangle  
 MAP 41072-E7-TF-024

Digital Data Supplied by MapTech Greenland, NH  
 1967 revised to 1992

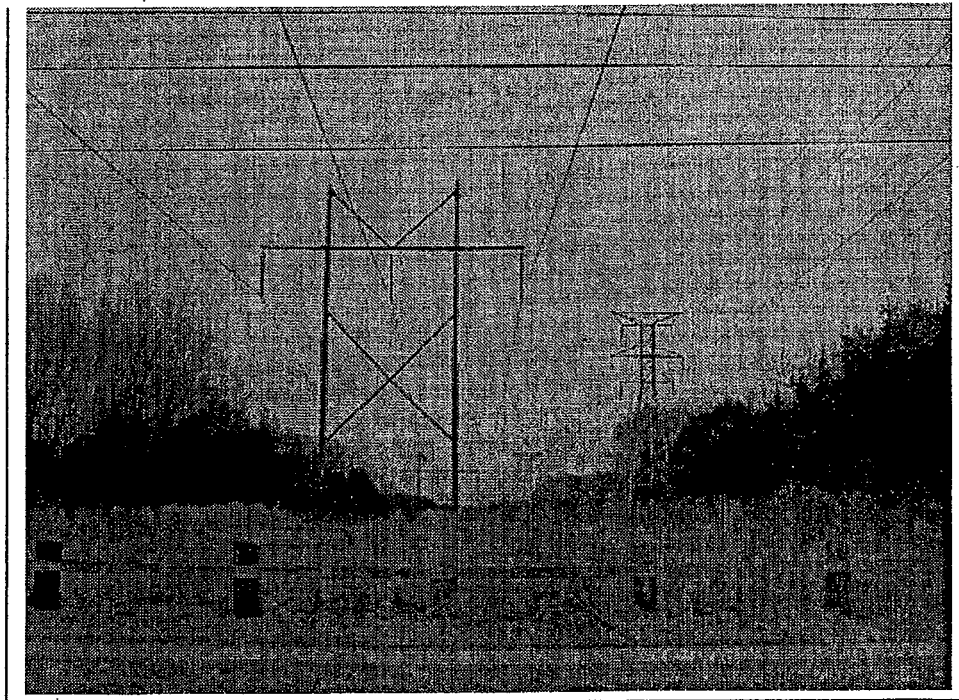
## Site Photographs

CT-11-734-A  
CL&P Line 1800 Stanchion 1814  
Hobart Street, Southington, CT

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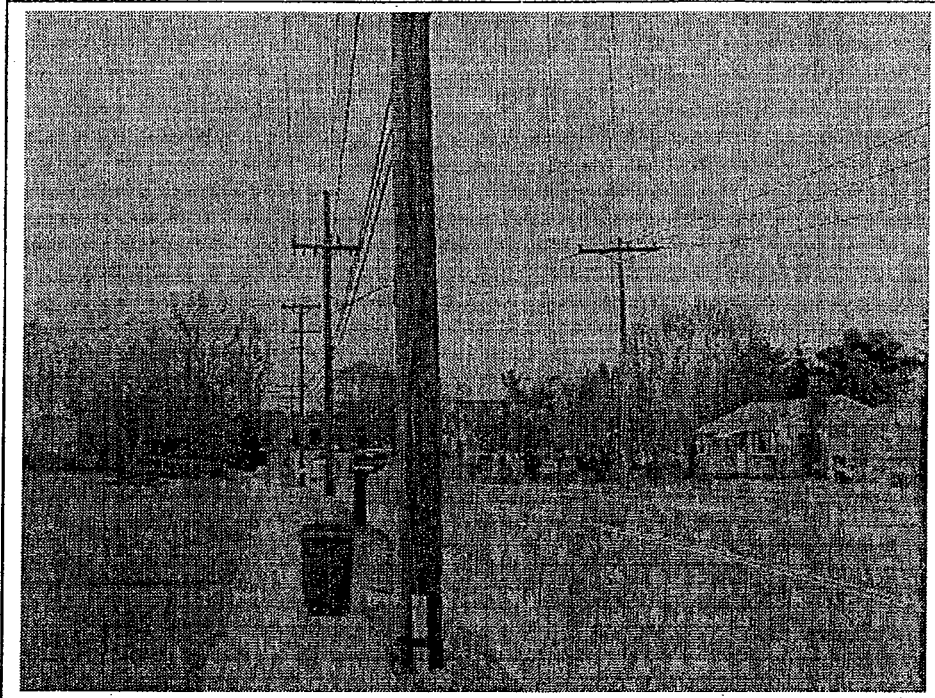
Photograph One – View of the utility pole facing northwest.



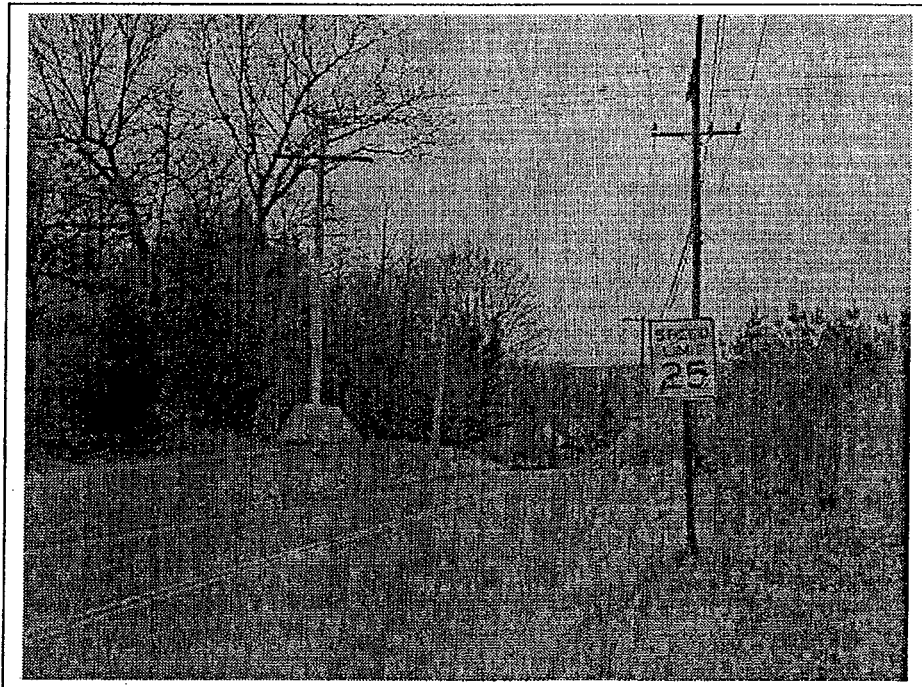
Photograph Two – View from the utility pole facing south.

CT-11-734-A  
CL&P Line 1800 Stanchion 1814  
Hobart Street, Southington, CT

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Photograph Three – A streetscape view of Hobart Street from the utility pole facing east.



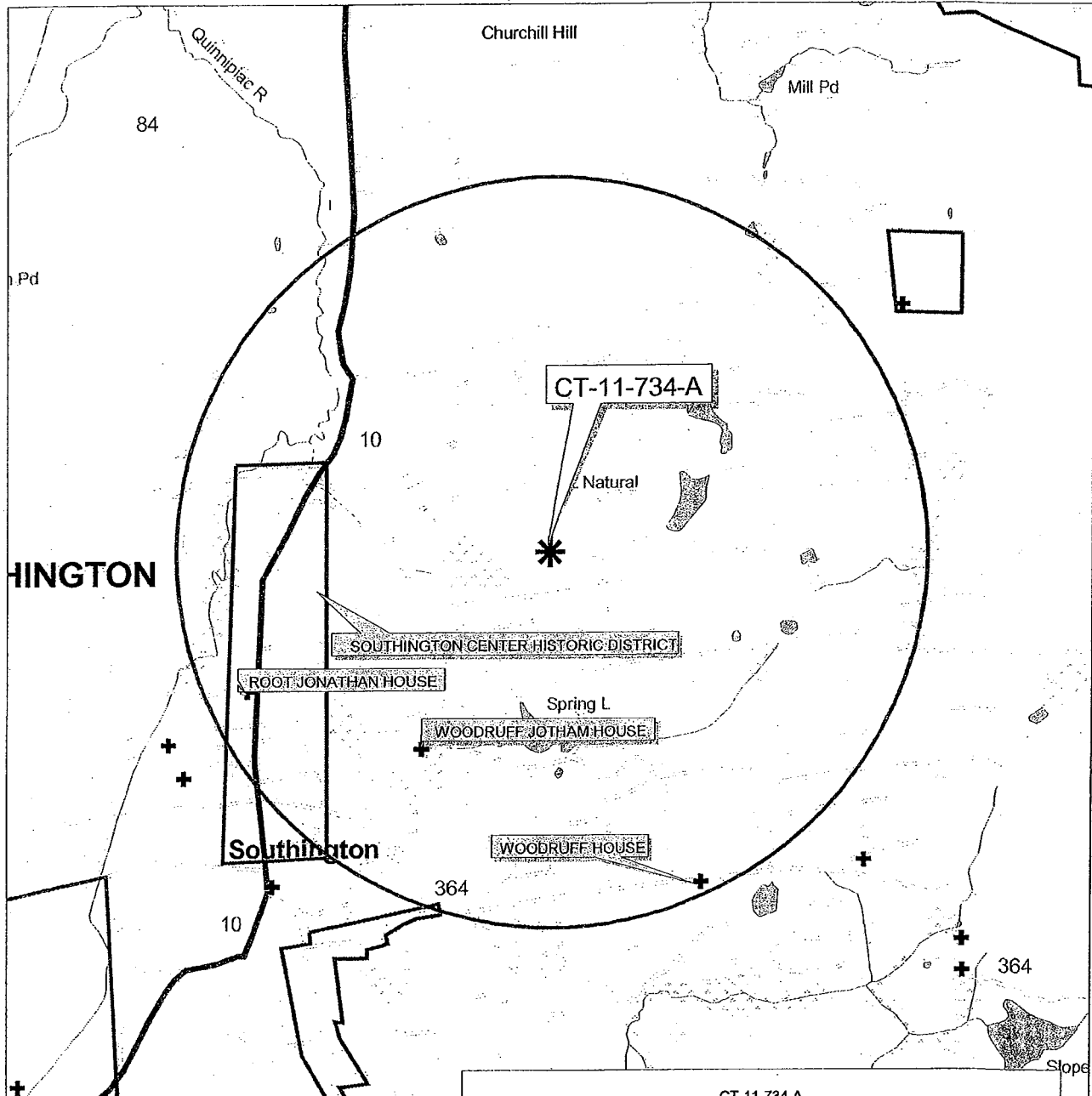
Photograph Four – A streetscape view of Hobart Street from the utility pole facing west.

**Cultural Resources Map**  
**Prepared by Keegans Associates**

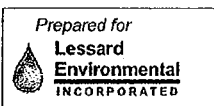


**PROJECT AREA AND  
KNOWN CULTURAL RESOURCES**

**SITE # CT11-734-A  
SOUTHINGTON, CONNECTICUT**



COPYRIGHT KEEGANS ASSOCIATES 2004  
0.2 0 0.2 0.4 Miles



CT 11-734-A			
	TOWER		Base
	1 Mile Radius		Text
	National Register (point)		Populated Places
	Reported Archaeological Sites		Land Forms
	Historic		Waterbody
	Prehistoric		Beaches
	National Register (polygon)		Rocks & Cliffs
	National Register (line)		Roads
			Dashed
			Solid
			Hydro
			Water
			Shore
			Drainage Ditch
			Intermittent Water
			Flats
			Dredged Channel
			Dam
			Aqueduct
			Hydro
			Water
			Intermittent Water
			Flats
			Rocks
			Underground Water
			Inundated Area
			Marsh on Quail
			Cranberry Bog
			Dam
			Fish Hatchery
			Aqueduct
			Sewage Pd
			Water Tank

Index by State and City report

Row	STATE	COUNTY	RESOURCE NAME	ADDRESS	CITY	LISTED	MULTIPLE
1 CT	Hartford	Hartford	Andrews, Luman, House	469 Andrews St.	Southington	1/19/1989	Colonial Houses of Southington TR
2 CT	Hartford	Hartford	Atwater Manufacturing Company	335 Atwater St.	Southington	12/8/1988	Historic Industrial Complexes of Southington TR
3 CT	Hartford	Hartford	Barnes, Salah, House	282 Prospect St.	Southington	1/19/1989	Colonial Houses of Southington TR
4 CT	Hartford	Hartford	Barnes-Frost House	1177 Marion Ave.	Southington	1/19/1989	Colonial Houses of Southington TR
5 CT	Hartford	Hartford	Blakeslee Forging Company	100 W. Main St.	Southington	12/8/1988	Historic Industrial Complexes of Southington TR
6 CT	Hartford	Hartford	Bradley, Jacobod, House	537 Shuttle Meadow Rd.	Southington	7/28/1989	Colonial Houses of Southington TR
7 CT	Hartford	Hartford	Clark Brothers Factory No. 1	1331 S. Main St.	Southington	12/8/1988	Historic Industrial Complexes of Southington TR
8 CT	Hartford	Hartford	Clark Brothers Factory No. 2	409 Canal St.	Southington	12/8/1988	Historic Industrial Complexes of Southington TR
9 CT	Hartford	Hartford	Clark, Avery, House	1460 Meriden Ave.	Southington	1/19/1989	Colonial Houses of Southington TR
10 CT	Hartford	Hartford	Cowles, Capt. Josiah, House	184 Marion Ave.	Southington	1/19/1989	Colonial Houses of Southington TR
11 CT	Hartford	Hartford	Evans, Ebenezer, House	17 Long Bottom Rd.	Southington	1/19/1989	Colonial Houses of Southington TR
12 CT	Hartford	Hartford	Farmington Canal-New Haven and Northampton Canal	Roughly from Suffield in Hartford Cty. to New Haven in New Haven Cty.	Southington	9/12/1985	
13 CT	Hartford	Hartford	Frost, Levi B., House	1089 Marion Ave.	Southington	11/20/1987	
14 CT	Hartford	Hartford	Grannis, Stephen, House	1183 West St.	Southington	1/19/1989	Colonial Houses of Southington TR
15 CT	Hartford	Hartford	Hart, Timothy, House	521 Flanders Rd.	Southington	1/19/1989	Colonial Houses of Southington TR
16 CT	Hartford	Hartford	House at 1010 Shuttle Meadow Road	1010 Shuttle Meadow Rd.	Southington	1/19/1989	Colonial Houses of Southington TR
17 CT	Hartford	Hartford	House at 590 West Street	590 West St.	Southington	1/19/1989	Colonial Houses of Southington TR
18 CT	Hartford	Hartford	Hurwood Company	379 Summer St.	Southington	12/8/1988	Historic Industrial Complexes of Southington TR
19 CT	Hartford	Hartford	Lake Compounce Carousel	W of Southington on Lake Ave. Along Marion Ave. and Meriden-Waterbury Trpk.	Southington	12/12/1978	
20 CT	Hartford	Hartford	Marion Historic District		Southington	12/21/1988	

21 CT	Hartford	Meriden Avenue-Oakland Road Historic District	Roughly Oakland Rd. between Meriden and Berlin Aves., and Meriden Ave. between Oakland Rd. and Delhanty Dr.	Southington	5/25/1988	Historic Industrial Complexes of Southington TR
22 CT	Hartford	Peck, Stow & Wilcox Factory	217 Center St.	Southington	12/8/1988	
23 CT	Hartford	Plantsville Historic District	Roughly bounded by Prospect St., Summer St., Quinnipiac River, Grove St., S. Main St., W. Main St., and West St.	Southington	12/1/1988	
24 CT	Hartford	Porter, Dr. J., House	391 Bellevue Ave.	Southington	1/19/1989	Colonial Houses of Southington TR
25 CT	Hartford	Pultz & Walkley Company	120 W. Main St.	Southington	12/8/1988	Historic Industrial Complexes of Southington TR
26 CT	Hartford	Root, Jonathan, House	140-142 N. Main St.	Southington	1/19/1989	Colonial Houses of Southington TR
27 CT	Hartford	Skelton, Dr. Henry, House	889 S. Main St.	Southington	1/19/1989	Colonial Houses of Southington TR
28 CT	Hartford	Southington Center Historic District Southington Public Library	Roughly N. Main St. N from Vermont Ave., and Berlin St. from Main St. to Academy Ln. 239 Main St.	Southington	5/8/1989	
29 CT	Hartford			Southington	2/9/1989	
30 CT	Hartford	Webster, Horace, Farmhouse	S of Southington at 577 South End Rd. 1432 West St.	Southington	8/24/1977	
31 CT	Hartford	West Street School		Southington	12/1/1988	
32 CT	Hartford	Wightman, Rev. John, House	1024 Mount Vernon Rd.	Southington	1/19/1989	Colonial Houses of Southington TR
33 CT	Hartford	Wightman, Valentine, House	1112 Mount Vernon Rd.	Southington	1/19/1989	Colonial Houses of Southington TR
34 CT	Hartford	Woodruff House	377 Berlin St.	Southington Southington	1/19/1989	Colonial Houses of Southington TR
35 CT	Hartford	Woodruff, Capt. Samuel, House	23 Old State Rd.		5/5/1989	
36 CT	Hartford	Woodruff, Ezekiel, House	1152 East St.	Southington	1/19/1989	Colonial Houses of Southington TR
37 CT	Hartford	Woodruff, Jotham, House	137-139 Woodruff St.	Southington	1/19/1989	Colonial Houses of Southington TR
38 CT	Hartford	Woodruff, Urbana, House	1096 East St.	Southington	1/19/1989	Colonial Houses of Southington TR

Index by State and City report

Row	STATE	COUNTY	RESOURCE NAME	ADDRESS	CITY	LISTED	MULTIPLE
1	CT	New London	American Thermos Bottle Company	11 Thermos Ave.	Norwich	7/17/1989	
2	CT	New London	Laurel Hill Plant	44 Rockwell St.	Norwich	10/6/1970	
3	CT	New London	Backus, Nathaniel, House	Huntington and Vergason Aves., Sylvia Lane and W. Town St.	Norwich	12/8/1982	
4	CT	New London	Bean Hill Historic District	100 Broad St.	Norwich	1/19/1984	
5	CT	New London	Broad Street School	307 Main St.	Norwich	4/29/1982	
6	CT	New London	Buckingham, William A., House	9-15 Main St., and 14-20 Water St.	Norwich	11/14/1982	
7	CT	New London	Carroll Building	Roughly bounded by Crescent, Broad, Grove, McKinley, Perkins, Slater, Buckingham, Maple Grove, Washington, and Lincoln	Norwich	5/12/1989	
8	CT	New London	Chelsea Parade Historic District	Address Restricted	Norwich	4/13/1998	
9	CT	New London	Commonwealth Works Site	185 Washington St.	Norwich	10/6/1970	
10	CT	New London	Converse House and Barn	Roughly bounded by Union Sq., Park, Main and Shetland sts., and Washington Sq.	Norwich	4/4/1985	
11	CT	New London	Downtown Norwich Historic District	365 Washington St.	Norwich	10/28/1970	
12	CT	New London	East District School	11 Huntington Lane	Norwich	2/23/1972	
13	CT	New London	Huntington, Col. Joshua, House	Roughly along Cedar, School, Fountain, Happy, and John Sts.	Norwich	4/19/1999	
14	CT	New London	Jail Hill Historic District	Roughly bounded by Spruce St., Rogers and River Aves., and Talman St.	Norwich	10/26/1987	
15	CT	New London	Laurel Hill Historic District	Both sides of Union, Broadway, and Huntington Pl. in irregular pattern	Norwich	10/15/1970	
16	CT	New London	Little Plain Historic District	120-156 Broadway and 10-88 Union St.	Norwich	1/12/1987	
17	CT	New London	Little Plain Historic District (Boundary Increase)	E of Norwich off CT 165 on Long Society Rd.	Norwich	4/22/1976	
18	CT	New London	Long Society Meetinghouse	Union St. and Broadway	Norwich	12/22/1983	
19	CT	New London	Norwich Town Hall	Roughly bounded by Huntington Ln., Scotland Rd., and Washington, Town and E. Town Sts.	Norwich	1/17/1973	
20	CT	New London	Norwichtown Historic District		Norwich		
21	CT	New London	Occum Hydroelectric Plant and Dam	N of Bridge St., W side of the Shetucket River	Norwich	12/6/1996	
22	CT	New London	Perkins-Rockwell House	42 Rockwell St.	Norwich	10/17/1985	
23	CT	New London	Taftville	N of Norwich at CT 93 and CT 97	Norwich	12/1/1978	
24	CT	New London	Telephone Exchange Building	23 Union St.	Norwich	11/28/1983	
25	CT	New London	US Post Office-Norwich Main	340 Main St.	Norwich	7/17/1986	
26	CT	New London	Yantic Falls Historic District	Yantic St.	Norwich	6/28/1972	
27	CT	New London	Yantic Woollen Company Mill	6 Franklin Rd.	Norwich	7/25/1996	

Tax Assessor's Information  
and  
Structure Age Backup

## Christine Keating

---

**From:** Farrell, Christine [Christine.Farrell@T-Mobile.com]  
**Sent:** Tuesday, April 13, 2004 1:47 PM  
**To:** Christine Keating  
**Subject:** RE: CL&P Sites

I have an update -

Municipality	Address	Pole	Line	Build	Date
Norwalk	2 Wilruss Street	1102	1	1958	
Newtown	8 Park Lane	1672	1991		
Norwalk	1 Belmont Place	3060	1867	1959	
Middletown	Batholemew Rd			1958	
Norwalk	Oak Hills Golf Course		1109		1958
Southington	Hobart Street	1814	1800	1962	
Hampton	Rt 6/South Brook Rd.		8123		1969
Meriden	Riverside Rd	4079	1610		
Glastonbury	84 Bell St	9138	1767	1956	
New London	Colman Hawthorne Dr. N		2422	1605	
Gales Ferry	6 Chapman Lane	7018	1410		
Waterbury	26 Elmer Street	523	1990		
Waterford	255 Rope Ferry Rd	5612	383		
Waterbury	Blueridge Drive	19	1550	1923	
Wallingford	Rte. 68 West	2493	1690		

Let me know if you need anything else - 860-794-6427

Original Message:

List Number: 16079      Census Tract    4306      **RESIDENTIAL PROPERTY CARD**      **TOWN OF SOUTHLINGTON, CT**

**Parcel ID#** 123 085      **Prop. Class:** One-Fam    131      **FULL VALUATION**      **APPRaisal VALUE 70%**      **Location:** 457    **HOBART ST**  
**Owner #1:** SOUCIA RICHARD CHARLES & CARBONE      **LAND** \$80,100      **LAND** \$56,070      **Sale Date:** 11/25/1992  
**Owner #2:** JOSEPHINE      **BLDG** \$92,800      **BLDG** \$64,960      **Sale Price:** \$142,165  
**Mail Address:** 457 HOBART ST      **OUTB** \$0      **OUTB** \$0      **Vol / Pg:** 550    82  
**City:** SOUTHLINGTON      **State:** CT      **Zip:** 06489-3354      **TOTAL** \$172,900      **TOTAL** \$121,030

**Bldg Type:** Single      **Bsmt Wall:** Conc 8"      **Total Rooms:** 7      **Total Fixtures:** 10  
**Quality:** 3.3      **Bsmt SF:** 1,040      **Bedrooms:** 3      **Fireplaces:** 0  
**Style:** 1 Story      **Bsmt Garage:** Double      **Full Baths:** 2      **Firepl Type:** No Data      **Phys Depr:** 3  
**Bldg SqFt:** 1,074      **Bsmt FNA:** No Data      **Half Baths:** 1      **Year Built:** 1993      **Funct/Econ Depr:** 0  
**Design:** RalsRanch      **Bsmt Fin SF:** 0      **Kitchens:** 1      **Condition:** Average      **% Complete:** 0

**Total Acres:** 1.47      **Zone:** R-20/25      **NBHD:** 23      **Public Act:**

LAND	LAND ID	LAND TYPE	INFLUENCE	INFLUENCE %	AREA	GRADE
1	1	Primary	Elec Easemt	0	0.62	0
2	2	Rear	No Data	0	0.95	0

OUTBUILD	OUTBUILD ID	TYPE	AREA	QUALITY	% GOOD	YEAR
1	1	No Data	0	No Data	0	

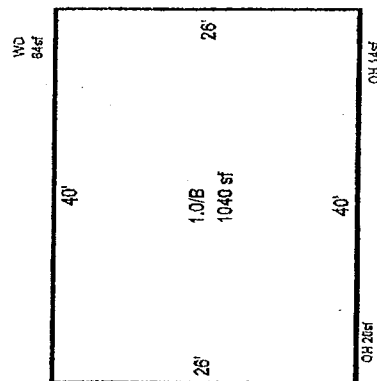
PERMIT	PERMIT ID	PERMIT	PERMIT AMT	PERMIT PUR	CO DATE
1	1	0	0		12:00:00 AM

EXTWALL	EXTWALL ID	SIDING TYPE	SIDING %
1	1	Vinyl Siding	100

GARAGE	GARAGE ID	GAR/CARPORT	AREA	SIDING	CPT ROOF
1	1	No Data	0	No Data	No Data

HEAT	HEAT ID	HEAT/COOL	HEAT/COOL %
1	1	Electric	100

PORCH	PORCH ID	PORCH AREA	FLOOR	WALL	ROOF	CEILING
1	1	64	Wood Deck	No Data	No Data	No Data



List Number: 8556      Census Tract    4305      **RESIDENTIAL PROPERTY CARD**      **TOWN OF SOUTHTON, CT**

**Parcel ID#** 123 084      **Prop. Class:** One-Fam    131      **FULL VALUATION**      **APPRaisal-VALUE 70%**      **Location:** 437    **HOBART ST**  
**Owner #1:** LASKY, FREDERICK W & BONNIE G      **LAND** \$73,200      **LAND** \$51,240      **Sale Date:** 7/11/1991  
**Owner #2:**      **BLDG** \$86,600      **BLDG** \$80,620      **Sale Price:** \$145,900  
**Mall Address:** 437 HOBART ST      **OUTB** \$0      **OUTB** \$0      **Vol / Pg:** 515    244  
**City:** SOUTHTON      **State:** CT      **Zip:** 06489-3354      **TOTAL** \$159,800      **TOTAL** \$111,860

**Bldg Type:** Single      **Bsmt Wall:** Conc 8"      **Total Rooms:** 5      **Total Fixtures:** 5  
**Quality:** 3.3      **Bsmt SF:** 1,100      **Bedrooms:** 3      **Fireplaces:** 0  
**Style:** 1 Story      **Bsmt Garage:** Double      **Full Baths:** 1      **Firepl Type:** No Data      **Phys Depr:** 3  
**Bldg SqFt:** 1,157      **Bsmt FNA:** No Data      **Half Baths:** 0      **Year Built:** 1991      **Funct/Econ Depr:** 0  
**Design:** RalsRanch      **Bsmt Fin SF:** 0      **Kitchens:** 1      **Condition:** Average      **% Complete:** 0

**Total Acres:** 0.54      **Zone:** R-20/25      **NBHD:** 23      **Public Act:**

LAND	LAND ID	LAND TYPE	INFLUENCE	INFLUENCE %	AREA	GRADE
1	1	Primary	Elec Easemt	0	0.52	0
2	2	Rear	No Data	0	0.02	0

OUTBUILD	OUTBUILD ID	TYPE	AREA	QUALITY	% GOOD	YEAR
1	1	No Data	0	No Data	0	

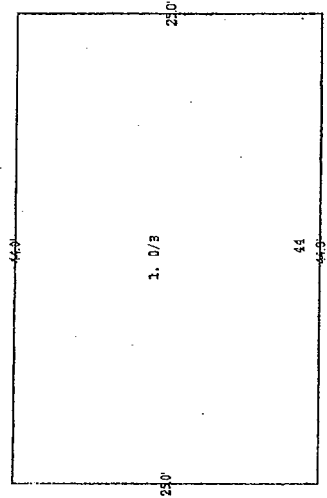
PERMIT	PERMIT ID	PERMIT	PERMIT AMT	PERMIT PUR	CO DATE
1	1	0	0		12:00:00 AM

EXTWALL	EXTWALL ID	SIDING TYPE	SIDING %
1	1	Vinyl Siding	100

GARAGE	GARAGE ID	GAR/CARPORT	AREA	SIDING	CPT ROOF
1	1	No Data	0	No Data	No Data

HEAT	HEAT ID	HEAT/COOL	HEAT/COOL %
1	1	Electric	100

PORCH	PORCH ID	PORCH AREA	FLOOR	WALL	ROOF	CEILING
1	1	0	No Data	No Data	No Data	No Data



Scale: 1" = 20' Vertical



List Number: 8555 Census Tract 4305 **RESIDENTIAL PROPERTY CARD** **TOWN OF SOUTHTON, CT**

Parcel ID# 123 086 Prop. Class: One-Fam 131 Location: 487 HOBERT ST  
 Owner #1: VAUTER RONALD J & POK C  
 Owner #2:  
 Mail Address: 467 HOBERT ST  
 City: SOUTHTON State: CT Zip: 06489-3354  
 Sale Date: 3/23/1992  
 Sale Price: \$146,028  
 Vol / Pg: 529 824

Bldg Type: Single  
 Quality: 3.3  
 Style: 1 Story  
 Bldg SqFt: 1,075  
 Design: RalsRanch  
 Bsmt Wall: Conc 8"  
 Bsmt SF: 1,040  
 Bsmt Garage: Double  
 Bsmt FNA: No Data  
 Bsmt Fin SF: 0  
 Total Rooms: 5  
 Bedrooms: 3  
 Full Baths: 1  
 Half Baths: 0  
 Kitchens: 1  
 Total Fixtures: 5  
 Fireplaces: 0  
 Firepl Type: No Data  
 Year Built: 1992  
 Condition: Average  
 Phys Depr: 3  
 Funct/Econ Depr: 0  
 % Complete: 0

Total Acres: 0.52 Zone: R-20/25 NBHD: 23 Public Act:

LAND	LAND ID	LAND TYPE	Primary	INFLUENCE	INFLUENCE %	AREA	GRADE
1	1	Primary		Elec Easmt	0	0.52	0

OUTBUILD	OUTBUILD ID	TYPE	AREA	QUALITY	% GOOD	YEAR
1	1	No Data	0	No Data	0	

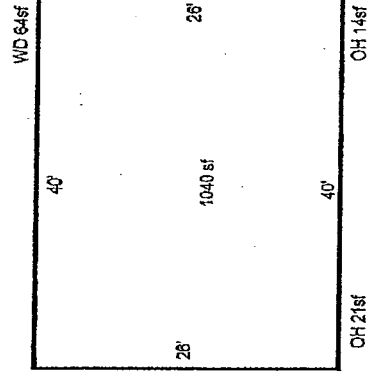
PERMIT	PERMIT ID	PERMIT	PERMIT AMT	PERMIT PUR	CO DATE
1	1	0	0		12:00:00 AM

EXTWALL	EXTWALL ID	SIDING TYPE	SIDING %
1	1	Vinyl Siding	100

GARAGE	GARAGE ID	GAR/CARPORT	AREA	SIDING	CPT ROOF
1	1	No Data	0	No Data	No Data

HEAT	HEAT ID	HEAT/COOL	HEAT/COOL %
1	1	Electric	100

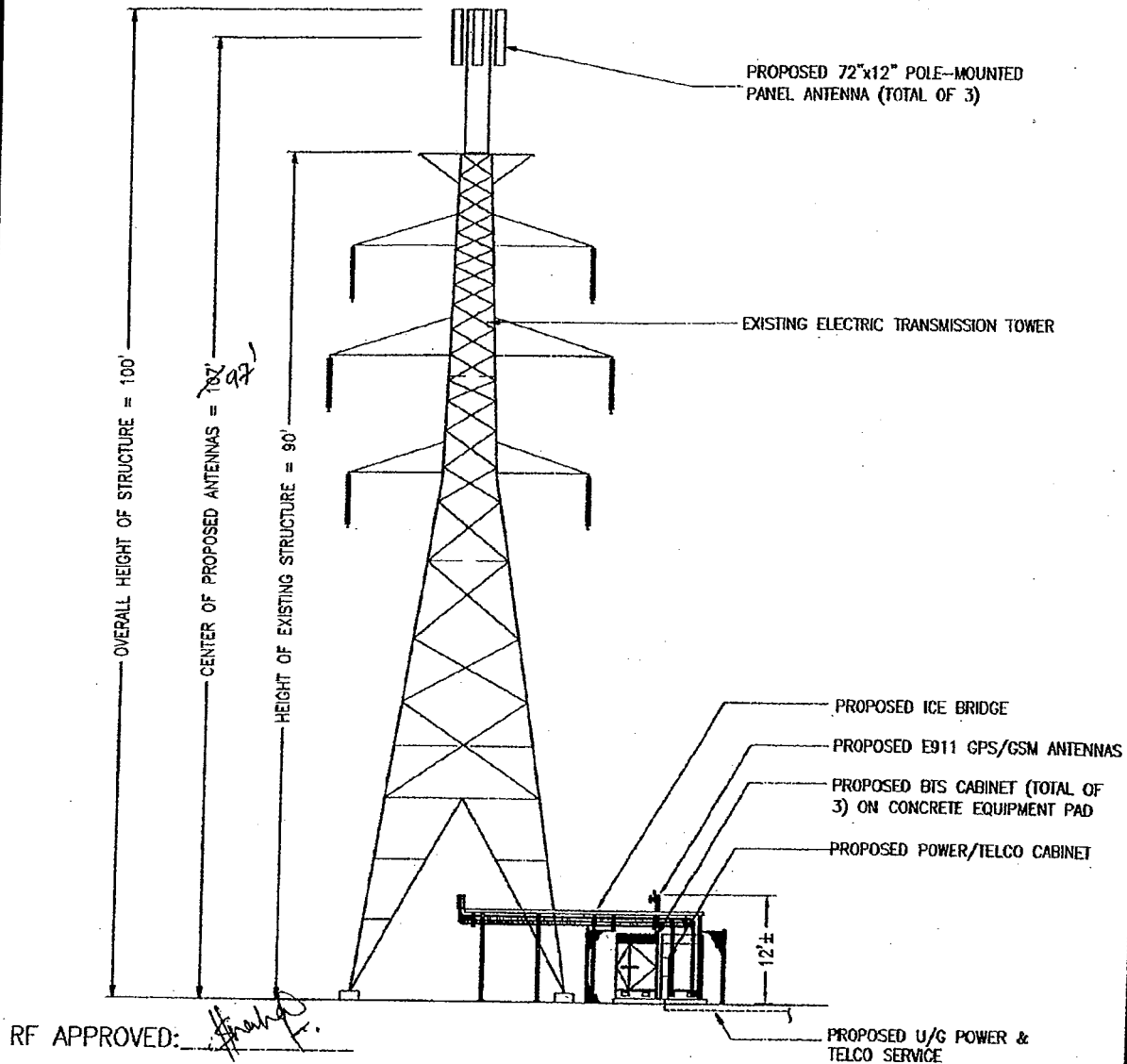
PORCH	PORCH ID	PORCH AREA	FLOOR	WALL	ROOF	CEILING
1	1	0	No Data	No Data	No Data	No Data



## **T-Mobile Project Plans**

**NOTE:**

PER FCC MANDATE, ENHANCED EMERGENCY (E911) SERVICE IS REQUIRED TO MEET NATIONWIDE STANDARDS FOR WIRELESS COMMUNICATIONS SYSTEMS. OMNIPPOINT COMMUNICATIONS, INC. IMPLEMENTATION REQUIRES DEPLOYMENT OF EQUIPMENT AND ANTENNAS GENERALLY DEPICTED ON THIS PLAN, ATTACHED TO OR MOUNTED IN CLOSE PROXIMITY TO THE BTS RADIO CABINETS. OMNIPPOINT COMMUNICATIONS, INC. RESERVES THE RIGHT TO MAKE REASONABLE MODIFICATIONS TO E911 EQUIPMENT AND LOCATION AS TECHNOLOGY EVOLVES TO MEET REQUIRED SPECIFICATIONS.



ALL EQUIPMENT LOCATIONS ARE APPROXIMATE AND ARE SUBJECT TO APPROVAL BY OMNIPPOINT COMMUNICATIONS, INC. STRUCTURAL & RF ENGINEERS. LOCATIONS OF POWER & TELEPHONE FACILITIES ARE SUBJECT TO APPROVAL BY UTILITY COMPANIES.

**ELEVATION**

REV. 4: 9/15/03

SITE NO: CT-11-734B  
 SITE NAME: CL&P LINE #1800 STNCH #1814  
 ADDRESS: NEXT TO 457 HOBART STREET  
 SOUTHTON, CT

OMNIPPOINT COMMUNICATIONS, INC.

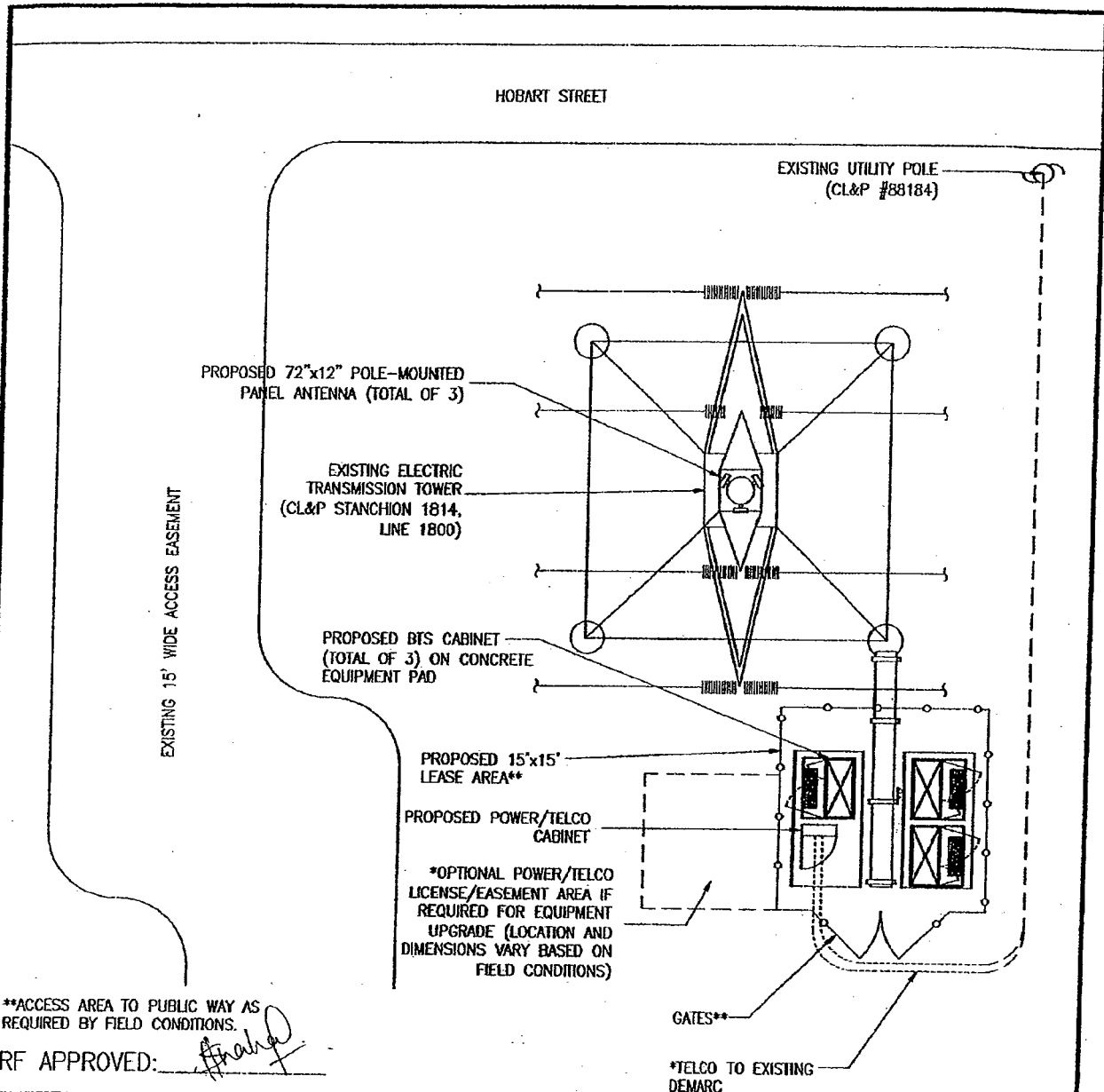
100 FILLEY STREET  
 BLOOMFIELD, CT 06002

SITE TYPE: TRANSMISSION  
 TOWER

DRAWN BY: MG

DATE:  
 1/21/04

SCALE: NTS



\*\*ACCESS AREA TO PUBLIC WAY AS REQUIRED BY FIELD CONDITIONS.

RF APPROVED: *[Signature]*

ANTENNA AZIMUTHS:	
SECTOR A=	60
SECTOR B=	180
SECTOR C=	300

\*EQUIPMENT SPECIFICATIONS AND UTILITY EASEMENTS AS REQUIRED BY TELCO AND POWER COMPANY.



ALL EQUIPMENT LOCATIONS ARE APPROXIMATE AND ARE SUBJECT TO APPROVAL BY OMNIPONT COMMUNICATIONS, INC. STRUCTURAL & RF ENGINEERS. LOCATIONS OF POWER & TELEPHONE FACILITIES ARE SUBJECT TO APPROVAL BY UTILITY COMPANIES.

SITE NO: SITE NAME: ADDRESS:	CT-11-734B CL&P LINE #1800 STNCH #1814 NEXT TO 457 HOBART STREET SOUTHINGTON, CT	OMNIPONT COMMUNICATIONS, INC.  100 FILLEY STREET BLOOMFIELD, CT 06002	SITE TYPE: TRANSMISSION TOWER	DATE: 1/21/04
			DRAWN BY: M. GRANESE	SCALE: NTS

TO: OMNIPPOINT COMMUNICATIONS, INC.  
FROM: WESTCOTT & MAPES INC.  
SITE: CL&P LINE 1800 STNCH. 1814  
SOUTHINGTON, CT. 06489  
SITE NO: CT11-734-A

FAA 2C REPORT

SITE ADDRESS: CONNECTICUT LIGHT AND POWER CO.  
HOBART STREET  
SOUTHINGTON, CT. 06489

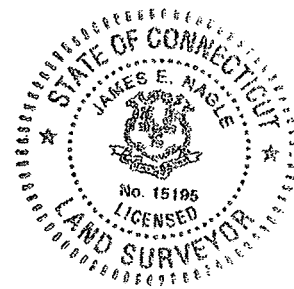
SURVEY METHOD: HORIZONTAL: GPS OBSERVATIONS  
VERTICAL: DIFFERENTIAL LEVELING

COORDINATES (NAD 83): N 782465 ( $\pm 30$  FT.)  
E 969065 ( $\pm 30$  FT.)

LATITUDE NAD83: N 41° 36' 30.6"

LONGITUDE NAD83: W 72° 51' 47.2"

ELEVATIONS: GROUND 230FT ( $\pm 10$  FT.)  
EXISTING TOWER HT. 87 FT.  
PROPOSED ANTENNAE HT. 10 FT.  
AMSL: 327 FT. ( $\pm 10$  FT.)



I CERTIFY THAT THE LATITUDE OF 41° 36' 30.6" AND THE LONGITUDE OF 72° 51' 47.2" ARE ACCURATE TO WITHIN 30 FEET $\pm$  HORIZONTALLY; AND THAT THE SITE ELEVATION OF 230' AMSL IS ACCURATE TO WITHIN 10 FEET $\pm$  VERTICALLY. WITH A PLANNED STRUCTURE HEIGHT OF 97' AGL, THE OVERALL HEIGHT WOULD BE 327' AMSL. THE HORIZONTAL DATUM (COORDINATES) ARE IN TERMS OF THE NORTH AMERICAN DATUM OF 1983 (NAD 83) AND ARE EXPRESSED AS DEGREES, MINUTES AND SECONDS, TO THE NEAREST (TENTH) OF A SECOND. THE VERTICAL DATUM (HEIGHTS) ARE IN TERMS OF THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 AND ARE DETERMINED TO THE NEAREST FOOT.

  
JAMES E. NAGLE PROFESSIONAL SURVEYOR

CONN. REG. NO. 15195

 WESTCOTT AND  
MAPES, INC.

Consulting Engineers and Architects  
142 Temple St. New Haven, CT 06510  
(203) 789-1280

PROJECT TITLE T-MOBILE -- SOUTHINGTON

DWG. TITLE	FAA 2C	SCALE	N/A
DRAWN BY	J.E.N.	DWG. NO.	FAA2C
DATE	3/10/04	PROJECT NO.	02-125-74











TOWN OF SOUTHTON  
ZONING REGULATIONS

as adopted and amended  
by the  
Southton Planning and Zoning Commission

under the authority  
of

Chapters 124 and 126  
of the  
Connecticut General Statutes, as amended

Effective Date: May 20, 1957  
As amended through March 25, 2004



## ELEVEN

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- 1.07.2        The provisions of these Regulations shall not prohibit the erection of a permitted building or establishment of a permitted use on a lot which is smaller than required,  
subject to the provisions of Sec. 1-07.1, in any district in which single-family dwellings are not a permitted use.
- 1.07.3        The provisions of these regulations shall not permit the issuance of a building permit for new construction of a single-family dwelling on a lot which is located on an abandoned road, paper street, or right-of-way unless such right-of-way was recorded in the office of the Town Clerk and constructed (i.e., paved) before the passage of these Regulations.

**1-08    REDUCTION OF LOT AREA**

No lot shall be diminished in area nor shall any yard, or open space be reduced except in conformity with the provisions of these Regulations.

**1-09    PRINCIPAL BUILDING**

No lot shall be occupied by more than one permitted principal building, but in the case of a public, institutional, commercial, or industrial building, a group of separate buildings under the same ownership or under different ownership in the case of condominium development may be considered as occupying the same lot if, in the opinion of the Planning and Zoning Commission, following public hearing by special permit, such buildings and uses are deemed compatible.

**1-10    DISCRETIONARY PUBLIC HEARINGS**

At any time the Planning and Zoning Commission deems it necessary, they shall have full discretion to call for public input or a public hearing if such action is approved by a two-thirds (2/3) affirmative vote.

Notice of the time and place of discretionary public hearings so approved by the Commission shall be published in the form of a legal advertisement appearing in a newspaper having a substantial circulation in the Town of Southington, at least twice at intervals of not less than two days, the first not more than fifteen days nor less than ten days, and the last not less than two days before such hearing, and a copy of such proposed regulation or boundary shall be filed in the Office of the Town Clerk for public inspection at least ten days before such hearing.

2-19 **S**

**STRUCTURAL ALTERATION** - Any change in or addition to the supporting members of a structure such as bearing walls, columns, beams or girders.

2-20 **T**

**TOURIST HOME** - A residence in which the owner offers overnight accommodations to not more than 5 transient persons for compensation.

**TRAILER** - See "Mobilehome".

**TRUCK SERVICE CENTER** - A privately operated business in which the primary activity involves the maintenance and servicing of trucks; including the sale of gasoline, oil, petroleum-related products and services utilized in the operations of commercial trucking. For purposes of this definition, a truck means a motor vehicle designed, used or maintained primarily for the transportation of property. A truck service center may include ancillary services such as a restaurant, laundry facilities, retail shops and other support services expressly for the purpose of servicing highway oriented traffic, provided the area of such ancillary services does not exceed 50% of the floor area of the principal building in which the truck service center is located. Truck service centers shall not include provisions for the sale of new or used vehicles, including but not limited to trucks, nor facilities for the overnight accommodation of people and/or overnight parking of trucks.

2-23 **W**

**WIRELESS TELECOMMUNICATION FACILITIES** - Antenna(s), telecommunications equipment, monopole(s) or lattice tower(s) and equipment shed(s) or cabinet(s) used together in conjunction with the provision of wireless communication services. Wireless telecommunication services shall be limited to cellular communications services, personal communications services, paging, radio and television broadcasting services.

2-25 **Y**

**YARD, FRONT** - An open space extending across the full width of the lot between the street line and the nearest point of the front wall of a principal building. Refer to illustration in Section 2-12.

**YARD, REAR** - An open space extending across the full width of the lot between the rear lot line and the nearest point of the rear wall of a principal building. Refer to illustration in Section 2-12.

**YARD, SIDE** - An open space extending from the front yard to the rear yard between the side lot line and the nearest point of the side wall of a principal building. Refer to illustration in Section 2-12.

2-26 **Z**

**ZONE** - Any portion set aside on the Zoning Map having separate requirements established by these regulations.

11-17.1

3. Any public park;
4. Residential dwelling; or
5. Any other sexually oriented business.

**11-18**

**WIRELESS TELECOMMUNICATION FACILITIES**

11-18.1

The Planning and Zoning Commission may grant a special permit authorizing the establishment of a wireless telecommunication facility for the following locations:

- a. Parcels located in the Residential “R-80”, Business “B”, Industrial “I-1”, and Industrial “I-2” zoning districts.
- b. Publicly owned parcels in excess of eight (8) acres, except publicly owned school property.
- c. Parcels in excess of eight (8) acres accommodating colleges/universities, hospitals or private schools.

A wireless telecommunication facility shall be deemed prohibited in all other zoning districts and locations, unless otherwise provided in Section 11-18.2 of these regulations. The establishment of a wireless telecommunication facility shall conform to Section Eight (8) of these regulations and shall comply with the following provisions:

- A. Prior to the establishment of any wireless telecommunication facility, the applicant must demonstrate that no structure contemplated under Section 11-18.2 is feasible. The Commission may require the technical expertise and/or study of an independent third party to substantiate that such co-location options are unavailable or not feasible. The cost of a third party technical study shall be incurred by the applicant.
- B. The Commission may permit a wireless telecommunication facility to extend to a height of not more than 175 feet as measured from adjoining grade.
- C. Communication towers used in conjunction with a wireless telecommunication facility shall be certified by a licensed structural engineer to conform to the latest structural standards and wind load requirements set forth in the State of Connecticut Building Code.
- D. No wireless telecommunication facility shall exceed a height equal to the linear distance to the nearest existing building. This provision shall not apply to a wireless telecommunication facility constructed on a parcel with an existing building; provided the property owner of such parcel supplies the Commission with a written waiver of such requirement.

11-18.1

- E. All wireless telecommunication facilities shall be located a minimum of 250 feet from any existing residential structure.
- F. All wireless telecommunication facilities shall comply with the required front, side and rear yard requirements set forth in Section Seven (7) of these regulations.
- G. A wireless telecommunication facility shall be designed and constructed to provide location for a minimum of three (3) carriers.
- H. No signs or external lights shall be installed on a wireless telecommunication facility unless required by the Federal Aviation Administration.
- I. Communication towers used in conjunction with a wireless telecommunication facility shall have either a galvanized finish or be painted in a noncontrasting gray or blue color.
- J. Wireless telecommunication facility sites shall be enclosed with a security fence, a minimum of six feet (6') in height. The lower ten feet (10') of any communication tower shall be designed to prevent unauthorized access.
- K. The establishment of wireless telecommunication facilities shall be restricted to no more than three sites within the corporate boundaries of the Town of Southington. The Commission may authorize up to three communication towers on an approved site. This restriction shall not apply to co-located facilities as provided in Section 11-18.2 of these regulations.
- L. The location of all structures associated with a wireless telecommunication facility shall be subject to site plan approval in accordance with Section Nine (9) of these regulations.
- M. The applicant shall demonstrate that the proposed wireless telecommunication facility will not adversely impact neighborhood property values.
- N. The Commission may take into consideration the findings or recommendations of any state or regional agency.
- O. Cabinets and sheds housing equipment used in conjunction with a wireless telecommunication facility shall be subject to the following:
  - 1. Externally located cabinets shall not exceed an area of seventy-seven (77") inches in height by sixty inches (60") in width by sixty inches (60") in depth.
  - 2. Sheds used for the housing of telecommunications equipment shall not exceed 200 square feet in area nor exceed twelve (12) feet in height.

11-18.1.O

3. The location of cabinets and sheds shall comply with the setback requirements of the underlying zoning district.
- P. A wireless telecommunication facility site not used for twelve (12) consecutive months shall be removed by the service facility owner. This removal shall occur within ninety (90) days of the end of such twelve month period. Upon removal of the wireless telecommunication facility, the site shall be restored to its previous appearance and, where appropriate, revegetated to blend with the surrounding area.

11-18.2

The following structures associated with a wireless telecommunication facility shall be deemed permitted in all zoning districts subject to site plan approval in accordance with Section Nine (9) of these regulations. The location and manner in which such features are shielded shall be reviewed and approved by the Planning and Zoning Commission.

- A. Panel, whip and/or dish antennas not exceeding six feet (6') in height which are co-located on the roof of a nonresidential building. The Commission may require that such features be concealed by an architectural screen or parapet wall, whenever practical. The Commission may also consider the location of antennas on the building rooftop and require the shielding of ancillary wires and cabinets through the use of screening, wherever possible.
- B. Panel, whip and/or dish antennas which are co-located on existing nonresidential buildings.

Towers, utility poles, water tanks, light standards or bridges providing the following standards are met:

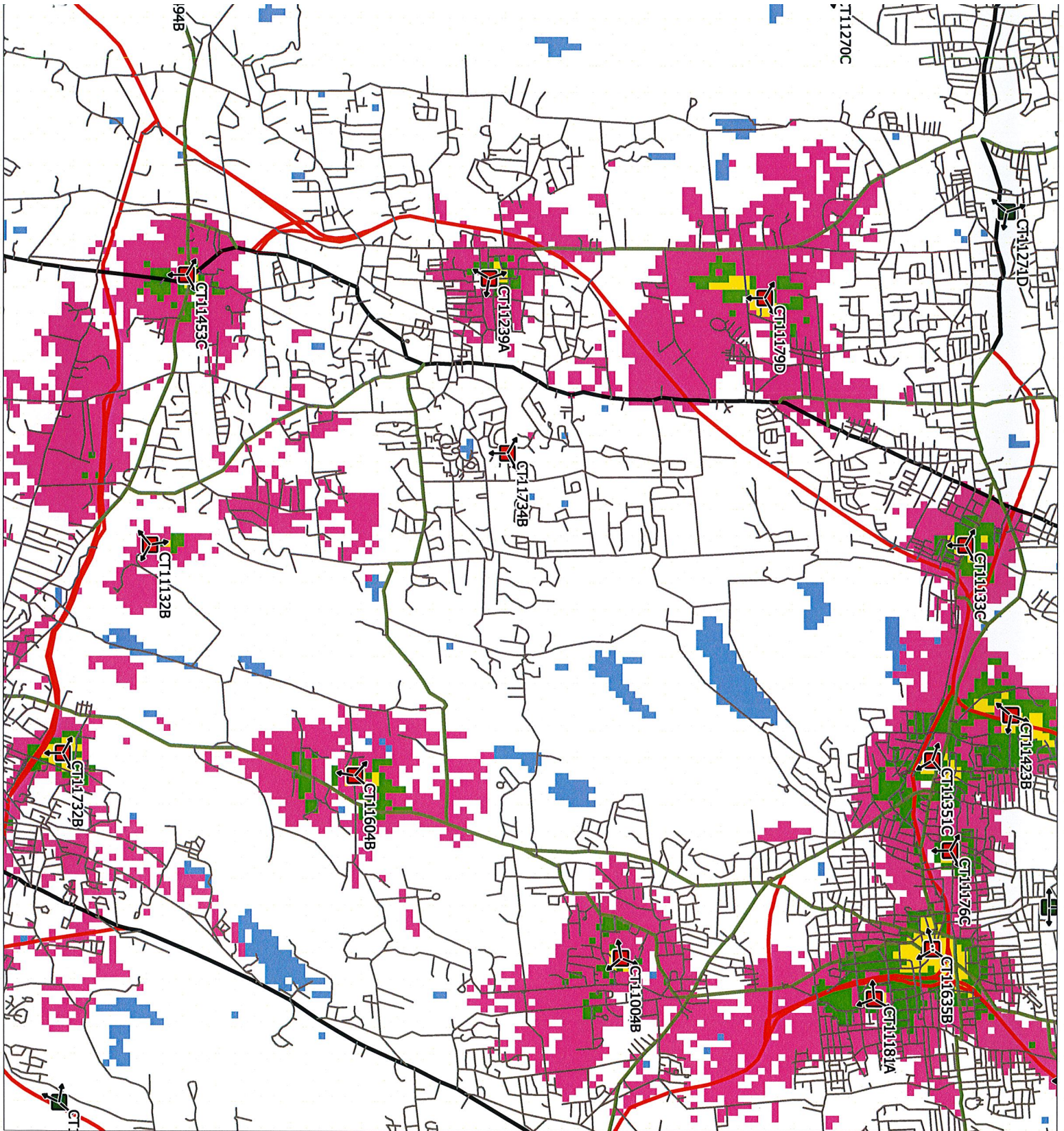
1. Such features shall not exceed the height of the existing structure by more than ten feet (10').
  2. Panel antennas shall not exceed sixty inches (60") in height by twenty-four inches (24") in width by nine inches (9") in depth.
  3. No dish antenna shall exceed three feet (3') in diameter.
  4. Antennas shall be painted in a noncontrasting color and shall be designed to match background surfaces.
- C. Cabinets and sheds housing co-located wireless telecommunication facilities shall be subject to Section 11-18.1 N of these regulations. Only cabinets shall be permissible on building rooftops in residential and business zones. The Planning and Zoning Commission may allow sheds on rooftops in industrial zones, if in the opinion of the commission, the size and design of the shed is in harmony with the building and it is determined that it will not have a detrimental effect on the aesthetics of the building or surrounding area.



Existing Coverage

CT11734B

Tue Jan 31 11:52:57 2006



Water

Best Server

GSM-Default

-70.0 <= x dBm

-76.0 <= x < -70.0 dBm

-84.0 <= x < -76.0 dBm

UL

-70.0 <= x dBm

-76.0 <= x < -70.0 dBm

-84.0 <= x < -76.0 dBm

Meta Data

Memory Used: 3.96 MB

Resolution: 82 ft

Create User: arapoli

Create Date: 2006-01-31 11:49

Comments:

Interstates\_CT

Primary\_Highways\_CT

Secondary\_Highways\_CT

Streets\_CT

NewEngland(CT)Mike(OnAir Filter

Property

ID

MSC

BSC

ID

Cell Site

Cell (GSM)

Top Right: 072°43'23.00"W 41°41'19.87"N

Bottom Left: 072°57'41.40"W 41°32'11.63"N

Scale Ratio 1:91468

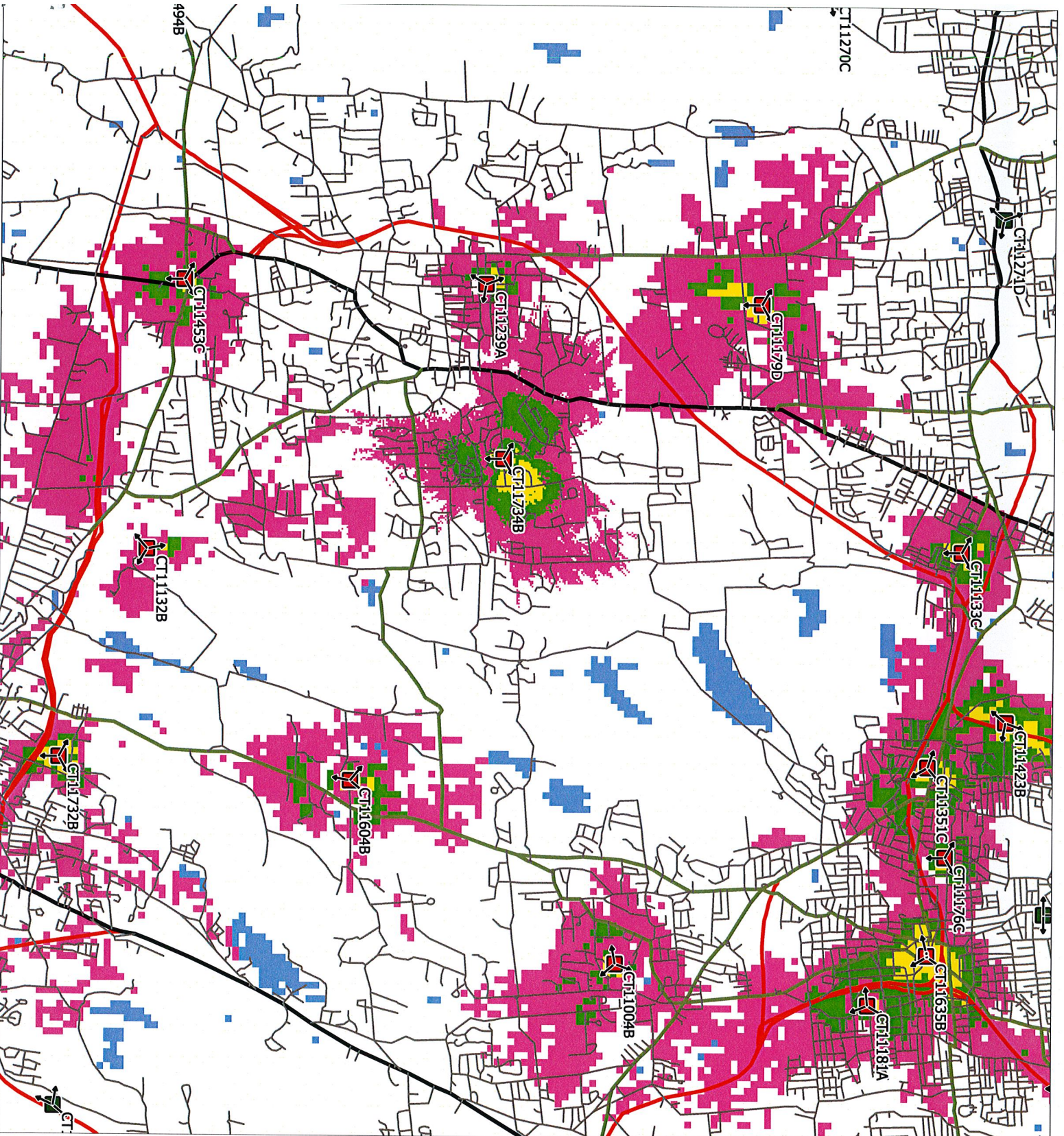




**Existing + Proposed@100**

CT11734B

Tue Jan 31 12:00:18 2006



Water  
 Best Server  
 GSM-Default  
 -70.0 <= x dBm  
 -76.0 <= x < -70.0 dBm  
 -84.0 <= x < -76.0 dBm  
 UL  
 -70.0 <= x dBm  
 -76.0 <= x < -70.0 dBm  
 -84.0 <= x < -76.0 dBm  
 Meta Data  
 Memory Used: 3.96 MB  
 Resolution: 82 ft  
 Create User: arapolu  
 Create Date: 2006-01-31 11:59  
 Comments:  
 Interstates\_CT  
 Primary\_Highways\_CT  
 Secondary\_Highways\_CT  
 Streets\_CT  
 NewEngland\CT\Mike\OnAir\_Filter  
 Property  
 ID  
 MSC  
 BSC  
 ID  
 Cell Site  
 Cell (GSM)  
 Top Right: 072+4323.00W 41+413.87N  
 Bottom Left: 072+5741.40W 41+3211.63N  
 Scale Ratio: 1:91468  
 0 0.500 1.000 1.500 2.000 Miles





T-Mobile USA Inc.  
100 Filley St, Bloomfield, CT 06002-1853  
Phone: (860) 692-7100  
Fax: (860) 692-7159

## Technical Memo

To: Christine Farrell  
From: Anand Rapolu - Radio Frequency Engineer  
cc: Jason Overbey  
Subject: Power Density Report for CT11734B  
Date: January 31, 2006

---

### 1. Introduction:

This report is the result of an Electromagnetic Field Intensities (EMF - Power Densities) study for the T-Mobile PCS antenna installation on a Utility Pole at Hobart Street, Southington, CT. This study incorporates the most conservative consideration for determining the practical combined worst case power density levels that would be theoretically encountered from locations surrounding the transmitting location.

### 2. Discussion:

The following assumptions were used in the calculations:

- 1) The emissions from T-Mobile transmitters are in the 1935-1945 MHz frequency band.
- 2) The antenna array consists of three sectors, with 3 antennas per sector.
- 3) The model number for each antenna is RFS APX16PV-16PVL-E.
- 4) The antenna center line height is 97 ft.
- 5) The maximum transmit power from any sector is 2482.68 Watts Effective Radiated Power (EIRP) assuming 8 channels per sector.
- 6) All the antennas are simultaneously transmitting and receiving, 24 hours a day.
- 7) Power levels emitting from the antennas are increased by a factor of 2.56 to account for possible in-phase reflections from the surrounding environment. This is rarely the case, and if so, is never continuous.
- 8) The average ground level of the studied area does not change significantly with respect to the transmitting location.

Equations given in "FCC OET Bulletin 65, Edition 97-01" were then used with the above information to perform the calculations.

### 3. Conclusion:

Based on the above worst case assumptions, the power density calculation from the T-Mobile PCS antenna installation on a Utility Pole at Hobart Street, Southington, CT, is 0.06577 mW/cm<sup>2</sup>. This value represents 6.577% of the Maximum Permissible Emission (MPE) standard of 1 milliwatt per square centimeter (mW/cm<sup>2</sup>) set forth in the FCC/ANSI/IEEE C95.1-1991. Furthermore, the proposed antenna location for T-Mobile will not interfere with existing public safety communications, AM or FM radio broadcasts, TV, Police Communications, HAM Radio communications or any other signals in the area.

## New England Market

Connecticut

### Worst Case Power Density

**T-Mobile**

Site:	CT11734B
Site Address:	Hobart Street
Town:	Southington
Tower Height:	90 ft.
Tower Style:	Utility Pole
Base Station TX output	20 W
Number of channels	8
Antenna Model	RFS APX16PV-16PVL-E
Cable Size	1 5/8 in.
Cable Length	120 ft.
Antenna Height	97.0 ft.
Ground Reflection	1.6
Frequency	1935.0 MHz
Jumper & Connector loss	4.50 dB
Antenna Gain	17.8 dBi
Cable Loss per foot	0.0116 dB
Total Cable Loss	1.3920 dB
Total Attenuation	5.8920 dB
Total EIRP per Channel	54.92 dBm
(In Watts)	310.33 W
Total EIRP per Sector	63.95 dBm
(In Watts)	2482.68 W
nsg	11.9080
Power Density (S) =	0.065775 mW/cm^2
T-Mobile Worst Case % MPE =	6.5775%
Equation Used :	$S = \frac{(1000(grf))^2 (Power) * 10^{(nsg/10)}}{4\pi (R)^2}$
Office of Engineering and Technology (OET) Bulletin 65, Edition 97-01, August 1997	



**Northeast  
Utilities System**

107 Selden Street, Berlin, CT 06037  
Northeast Utilities Service Company  
P.O. Box 270  
Hartford, CT 06141-0270  
(860) 665-5000

March 20, 2006

Stephen J. Humes, Esq.  
Omnipoint Communications, Inc.  
100 Filley Street  
Bloomfield, CT 06002

Re: Site Permitting Authorization

Dear Mr. Humes:

Authorization is hereby given to Omnipoint Communications, Inc., its employees and its duly authorized agents and independent contractors (hereinafter collectively referred to as "Omnipoint"), to apply for any and all local municipal, state and federal licenses, permits and approvals, including but not limited to Connecticut Siting Council, building permits, zoning variances, zoning special exceptions, site plan and subdivision approvals, driveway, wetlands and terrain alteration permits, which are or may be necessary or required for Omnipoint to construct, operate and maintain a wireless communications system (PCS System), and/or antenna site on the following property over which The Connecticut Light & Power Company (CL&P) has easement rights:

Structure # 8014, CT11 734A,  
Hobart Street  
Southington, Connecticut

The foregoing authorization is given subject to the following conditions:

1. This authorization shall be nonexclusive. Nothing herein shall prevent or restrict CL&P from authorizing any other person or entity to apply for any similar licenses, permits or approvals to construct, operate and maintain any other communication system or facility of any type on the property at any time.
2. This authorization shall not obligate CL&P to pay for or reimburse any costs or expenses or to provide any assistance of any kind in connection with any applications, or bind or obligate CL&P to agree or be responsible for any on-site or off-site improvements, development restrictions, impact fees or assessments, capital improvement charges, bonds or other security, or any other fee, assessment, charge or expense imposed or required as a condition of any license, permit or approval. Omnipoint shall be solely and fully responsible for all fees, charges costs and expenses of any kind in connection with any applications. CL&P agrees to reasonably cooperate with Omnipoint in signing such applications or other similar documents as may be required in order for Omnipoint to apply for any license, permit or approval.

3. This authorization shall not be deemed or construed to grant or transfer to Omnipoint any interest in the property, whatsoever, and shall not in any respect obligate or require CL&P to sell, lease or license the Property to Omnipoint or otherwise allow Omnipoint to use or occupy the property for any purpose, regardless of whether any licenses, permits and approvals applied for by Omnipoint for the property are granted. Omnipoint understands and acknowledges that any and all applications filed by Omnipoint for the property at Omnipoint sole risk and without any enforceable expectation that the property will be made available for Omnipoint' use.
4. Omnipoint shall be required to supply to CL&P, free of charge and contemporaneous with Omnipoint filing of same, a complete copy of any and all applications, plans, reports and other public filings made by Omnipoint with any local, municipal, state or federal governmental or regulatory officer, agency board, bureau, commission or other person or body for any licenses, permits or approvals for the property, and to keep CL&P fully informed on a regular basis of the status of Omnipoint' applications.
5. This authorization shall automatically expire six (6) months after the date of this letter, unless extended in writing by mutual agreement of CL&P and Omnipoint.


Very truly yours,



Neil J. Scott, Manager  
Survey Engineering & Rights of Way

**AGREED TO ON BEHALF OF  
OMNIPONT COMMUNICATIONS, INC.**

By: \_\_\_\_\_

  
Duly Authorized  
Michael S. Fulton  
Director of Development

03/28/06

Date: \_\_\_\_\_

Structure 8014, CT11 734A,  
Hobart Street  
Southington, Connecticut

HO'B/hob  
K:\Deptdata\Real\_Est\Real Estate Operations\MOB\Site Permits\